

EASTGATE  
WAREHOUSE - LOT 5

05/19/25 SITE PLAN REVIEW

14 EASTGATE DR, BRUNSWICK, GA 31525

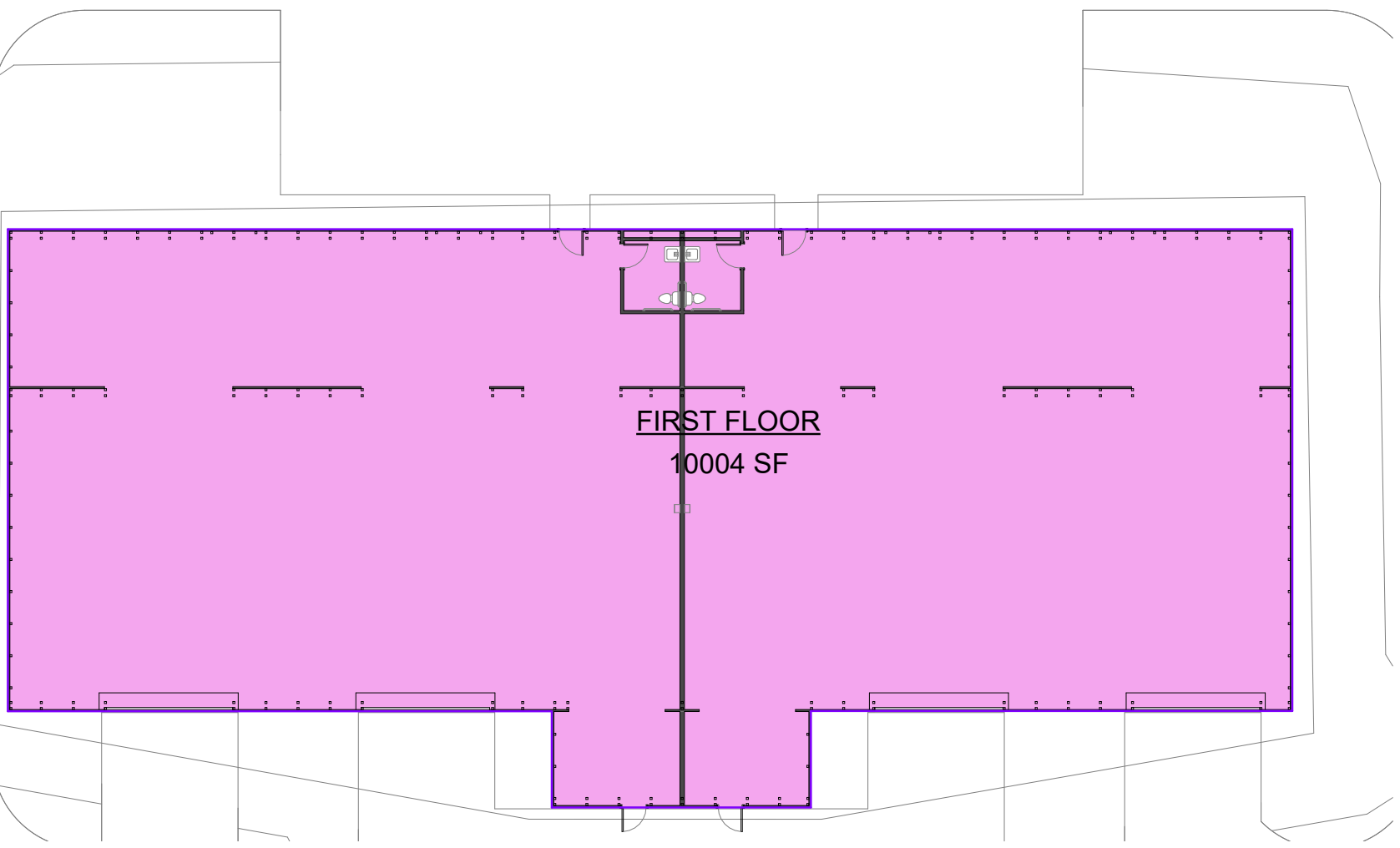
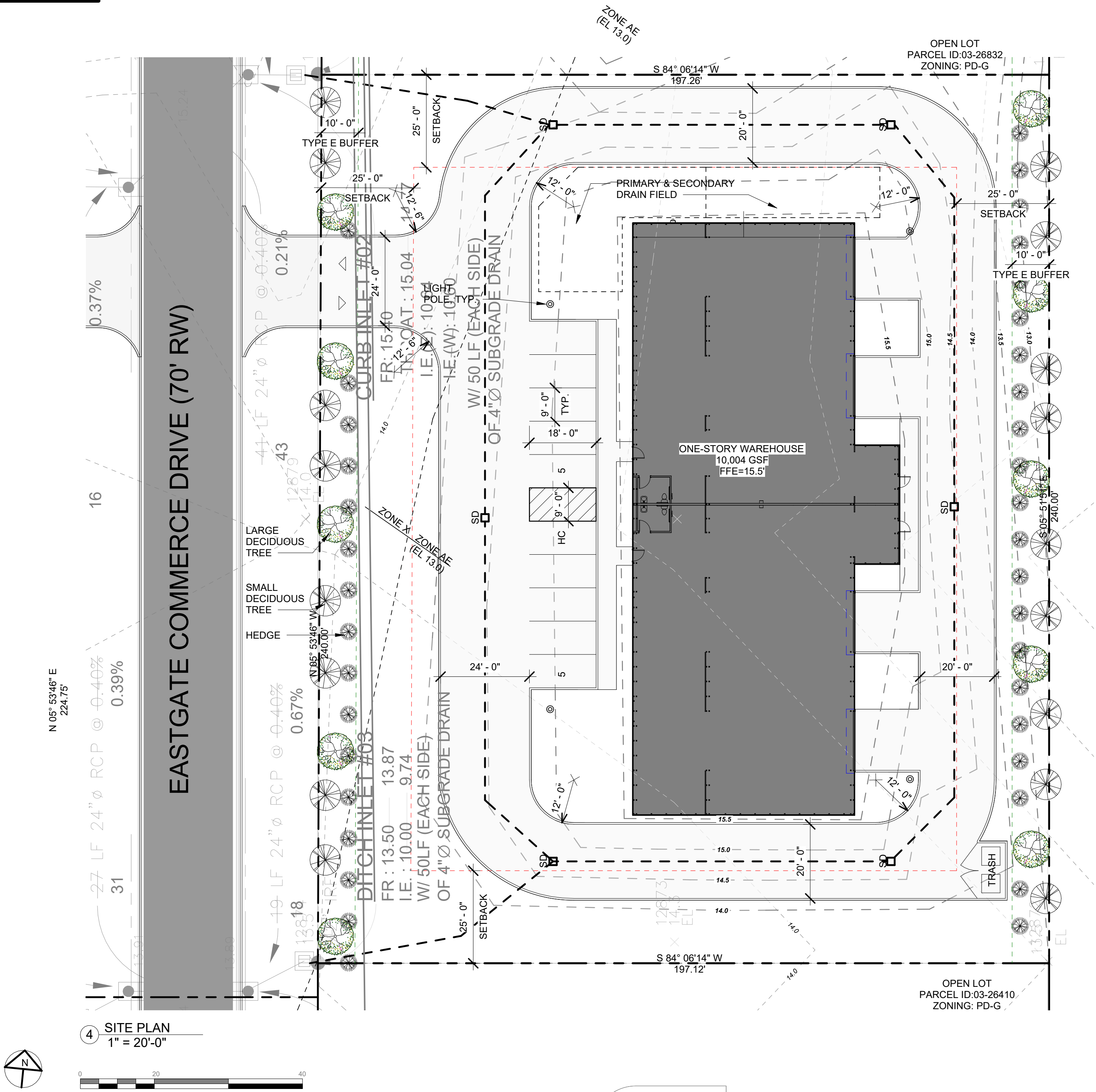
DESIGN TEAM		SITE INFORMATION			
ARCHITECTURAL		PARCEL ID: ADDRESS:	03-26833 14 EASTGATE DR BRUNSWICK, GA 31525 PDG	BUILDING PARKING/DRIVE TOTAL COVERAGE	10,004 GSF 18,485 SF 28,489SF (.654 AC)(60.0%)
Zachary L Farrell, AIA ZLF Design Company ZLFdesigncompany@gmail.com 214.803.1803					
		ZONING:	PDG		
		LOT AREA:	47,480 SF (1.09 AC)		
		SEWER:	PUBLIC SEWER		
		FEMA FLOOD ZONE:	X	EMPLOYEES PARKING REQ. PARKING PROV.	20 EMPLOYEES 1 SPACE/2 EMPLOYEES 10 SPACES

- GENERAL NOTES**

  - ALL DIMENSIONS TO FACE OF STUD/STRUCTURE FOR INTERIOR AND EXTERIOR WALL PARTITIONS UNLESS OTHERWISE NOTED.
  - THE CONTRACTOR IS NOT TO SCALE DRAWINGS OR DETAILS. ONLY WRITTEN DIMENSIONS ARE TO BE USED.
  - CONDUITS IN FIRE-RELATED PARTITIONS SHALL NOT EXCEED 3/4 INCH DIAMETER. OUTLETS IN RATED PARTITIONS SHALL BE BACKED UP WITH APPROVED MATERIALS MEETING U.L. REQUIREMENTS.
  - CONCEALED SPACES SHALL BE FIRE STOPPED.
  - ACCESSIBLE ROUTES SHALL COMPLY WITH 2010 ADA STD CHAPTER 4.
  - PROTRUDING OBJECTS IN CIRCULATION PATHS ARE TO COMPLY WITH ANSI 2009 SECTION 7.
  - FLOOR AND GROUND SURFACES (INCLUDING FLOOR MATERIAL TRANSITIONS) IN COMMON USE AREAS SHALL BE STABLE, FIRM AND SLIP-RESITANT AND SHALL COMPLY WITH ANSI 2009 SECTION 302.
  - CHANGES IN LEVEL (INCLUDING FLOOR MATERIAL TRANSITIONS) IN COMMON USE AREAS SHALL COMPLY WITH ANSI 2009 SECTION 303.
  - PROVIDE DOOR CLOSER AND EGRESS PANIC HARDWARE FOR ALL EGRESS DOORS.
  - ALL PORTABLE FIRE EXTINGUISHERS SHALL COMPLY WITH THE LOCAL FIRE DEPARTMENT AND THE NFPA 10 STANDARD FOR PORTABLE FIRE EXTINGUISHERS.
  - PROVIDE CLASS A MULTIPURPOSE DRY-CHEMICAL TYPE IN STEEL CONTAINER: UL-RATED 4-A-60-B-C, 10-LB NOMINAL CAPACITY.
  - HANDRAILS SHALL HAVE A CROSS SECTION OF 1-1/2".
  - CLEARANCE BETWEEN HANDRAIL AND WALL OR ATTACHMENT SURFACE SHALL NOT BE LESS THAN 1-1/2".
  - ALL DOOR HARDWARE TO BE FROM THE SAME MANUFACTURER.
  - DESIGN OF MONOLITHIC SLAB AND PREFABRICATED METAL STRUCTURED SHALL BE DESIGNATED DESIGN THROUGH THE GENERAL CONTRACTOR.
- SITE PLAN NOTES**

  - INTENDED USE:  
THE PROPOSED PROJECT IS THE CONSTRUCTION OF A 1-STORY 10,004 SF WAREHOUSE BUILDING
  - OWNER:  
BRUNSWICK AND GLYNN COUNTY DEVELOPMENT AUTHORITY  
4 GLYNN AVENUE  
BRUNSWICK, GA 31520  
(912) 265-6629
  - DEVELOPER:  
BLACK INK DEVELOPMENT  
CALVIN COLLINS  
CALVIN@BLACKINKBUILD.COM
  - PARKING REQUIREMENTS:  
WAREHOUSE:  
1 SPACE PER 2 EMPLOYEES  
20 EMPLOYEES  
WAREHOUSE PARKING = 10 SPACES
  - SITE COVERAGE:  
TOTAL AREA: 1.09AC  
TOTAL IMPERVIOUS 0.654 AC (60.0%)
  - SITE DESCRIPTION:  
LEGAL DESCRIPTION - LOT 5 EASTGATE COMMERCE PARK PH5 1  
PROPERTY ADDRESS - 15 EASTGATE DR BRUNSWICK GA 31525
  - DEVELOPMENT STANDARDS FOR GOLDEN ISLES GATEWAY:  
ZONING: PD-G DECEMBER 1999  
ZONING APP: GC-34-99  
DISTRICT: ODI (OFFICE/DISTRIBUTION/INDUSTRIAL)  
MINIMUM SIZE LOT: 1ac  
MAXIMUM BUILDING HEIGHT: 45 FT  
MINIMUM LOT WIDTH: 60 FT  
SETBACKS:  
MIN FRONT YARD: 25 FT  
MIN SIDE YARD: 25 FT  
MIN REAR YARD: 25 FT
  - PROPOSED UTILITIES:  
WATER: THE PROPOSED WATER WILL TIE INTO THE EXISTING WATER LOCATED IN THE RIGHT OF WAY OF EASTGATE DRIVE  
SEWER: THE PROPOSED GRAVITY SEWER WILL BE ROUTED TO A PROPOSED SEPTIC SYSTEM
  - STORMWATER:
  - ACCORDING TO F.I.R.M. MAP NO. 13127C, PANELS 115F AND 120F, REVISED SEPTEMBER 6, 2006, A PORTION OF THE PROPERTY SHOWN FALLS WITHIN FLOOD ZONE AE
  - EXTERIOR LIGHTING WILL COMPLY WITH 622 OF THE GLYNN COUNTY ZONING ORDINANCE
  - FIRE DEPARTMENT CONNECTION WILL BE PROVIDED.
  - THIS SITE WILL COMPLY WITH BUFFER REQUIREMENTS - TYPE "E" BUFFER ALONG THE EAST AND WEST SIDES OF THE PROPERTY.
  - SIGNAGE FOR THIS SITE WILL BE COMPLIANT WITH 811.7 OF THE GLYNN COUNTY ZONING ORDINANCE.
  - (3) RIGHT OF WAY TYPE "E" BUFFER:  
LARGE DECIDUOUS TREES = 14  
SMALL DECIDUOUS TREES = 23
  - SQUARE FOOTAGE:  
1ST FLOOR = 10,004 SF
  - FLOOD LINES SHOWN WERE SCALED FROM FLOOD MAPS AND ARE APPROXIMATE. FLOOD LINES ARE BASED ON NAVD88.

SITE PLAN LEGEND	
---	PROPERTY LINE
- - - - -	EXISTING CONTOUR
- - - - -	NEW CONTOUR
- - - - -	SETBACK/EASEMENT
- - - - -	DRAINAGE LINE
- - - - -	BUFFER
	LARGE DECIDUOUS TREE
	SMALL DECIDUOUS TREE
	HEDGE
	LIGHT POLE
	IRON PIPE FOUND



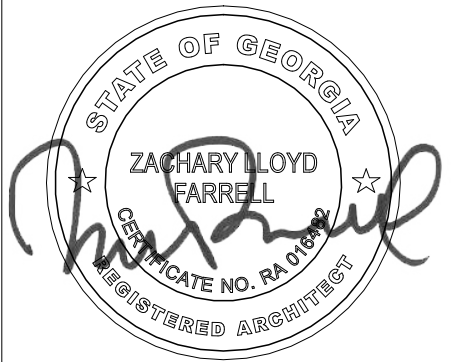
Area Schedule	
Name	Area
FIRST FLOOR	10004 SF
GRAND TOTAL	10004 SF

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EASTGATE  
WAREHOUSE  
- LOT 5

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BRUNSWICK, GA  
31525



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COVER SHEET,  
INDEX, GENERAL  
NOTES AND SITE  
PLAN

Project Number 2510  
Date 05/06/25

A000



APPLICABLE CODES\*

- INTERNATIONAL BUILDING CODE, 2018 EDITION
- INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION
- INTERNATIONAL FIRE CODE, 2018 EDITION (NO GEORGIA AMENDMENTS)
- INTERNATIONAL PLUMBING CODE, 2018 EDITION
- INTERNATIONAL MECHANICAL CODE, 2018 EDITION
- INTERNATIONAL FUEL GAS CODE, 2018 EDITION
- NATIONAL ELECTRICAL CODE, 2017 EDITION (NO GEORGIA AMENDMENTS)
- INTERNATIONAL ENERGY CONSERVATION CODE, 2015 EDITION

\*WITH GEORGIA AMENDMENTS

BUILDING/OCCUPANCY INFORMATION

CONSTRUCTION TYPE: VB  
SPRINKLER: NFPA-13  
BUILDING HEIGHT: 19'-10" (60'-0" ALLOWED)  
STORIES: 1-STORY (3-STORIES ALLOWED)  
GROSS BUILDING AREA: 10,004 GSF (36,000 SF ALLOWED)  
OCCUPANCY: B (OFFICE)

FIRE PROTECTION INFORMATION

PRIM. STRUCTURAL FRAME: 0HR (0HR REQ.)  
EXT. BEARING WALLS: 0HR (0HR REQ.)  
INT. BEARING WALLS: N/A (0HR REQ.)  
FLOOR CONSTRUCTION: 0HR (0HR REQ.)  
ROOF CONSTRUCTION: 0HR (0HR REQ.)

EXIT REQUIREMENTS

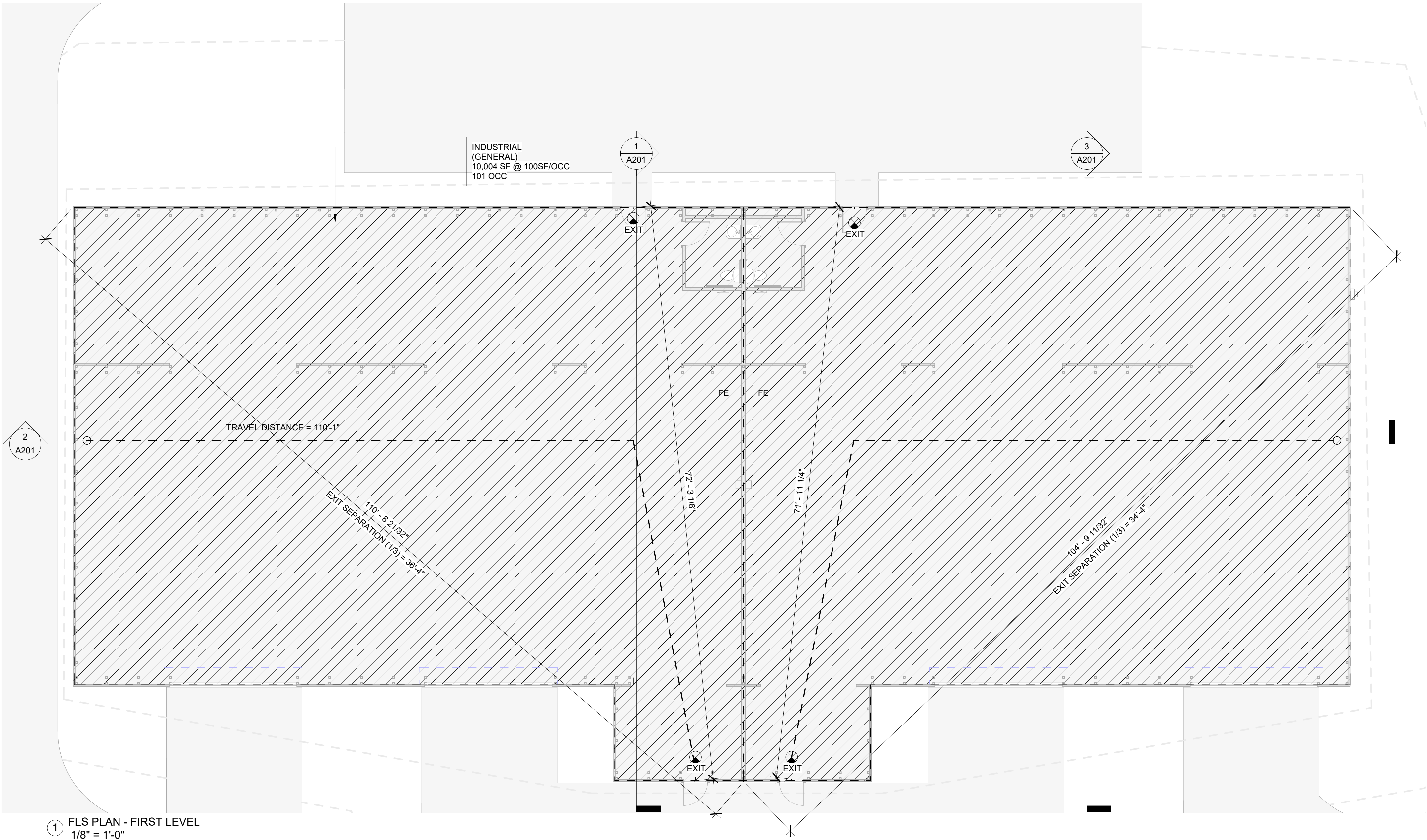
USE	OCC/SF	OCC LOAD	EXITS PROVIDED	EXIT SEPARATION
INDUSTRIAL	100/SF	101	2	171'-0" (56'-8" REQ.)

PLUMBING FIXTURE COUNTS

USE	WATER CLOSET PROV.		LAVATORIES
	MALE	FEMALE	
INDUSTRIAL	(1:100)		1 (1:100)

LIFE SAFETY LEGEND

- 0 HOUR RATING  
-.-.- 1 HOUR RATING  
-.-.-.- 2 HOUR RATING  
--- MAX. TRAVEL DISTANCE
- OCCUPANT AREA
- EXIT DEVICE
- OCC: OCCUPANT LOAD  
CAP: DOOR CAPACITY
- FIRE EXTINGUISHER

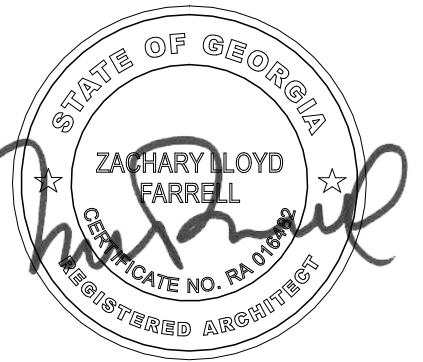


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FIRE & LIFE  
SAFETY PLAN

Project Number 2510  
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A001

FOUNDATION PLAN LEGEND

SPREAD FOOTING

THICKENED SLAB

CONCRETE SLAB

SLAB DROP

- FOUNDATION PLAN NOTES
- 24"WX12"H CONTINUOUS CONCRETE FOOTING WITH TWO #5 BARS @ 16" O.C. 3" FROM BOTTOM OF FOOTING (BEND AND LAP 30" AT CORNERS), CENTERED ON WALL
  - 4" CAST IN PLACE CONCRETE SAB WITH 6" WELDED WIRE MESH CENTERED IN SLAB
  - 10MIL VAPOR BARRIER OVER COMPACTED # 57 GRAVEL
  - TERMITE TREAT AND COMPACT SOIL
  - THICKENED SLAB, 24"WX12"H CONTINUOUS WITH TWO #5 BARS @ 16" O.C. 3" FROM BOTTOM OF FOOTING (BEND AND LAP 30" AT CORNERS)
  - 5/8" J-BOLT CENTERED IN EXTERIOR STUD WALL LOCATED 48" O.C. AND 12" FROM CORNERS AND DOOR OPENINGS. DIMENSIONS ARE TO FACE OF STRUCTURE, UNLESS NOTED OTHERWISE
  -

FLOOR PLAN LEGEND

NEW WALL

101

DOOR TAG

11

WINDOW TAG

AX

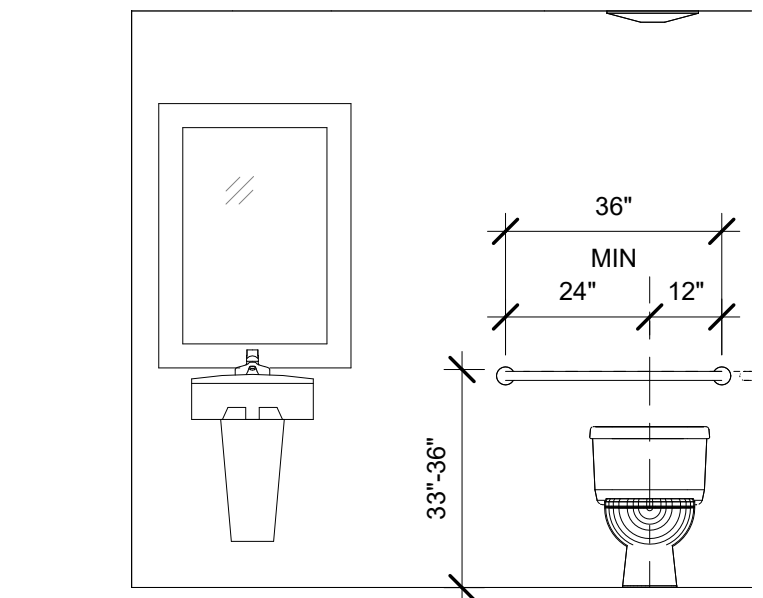
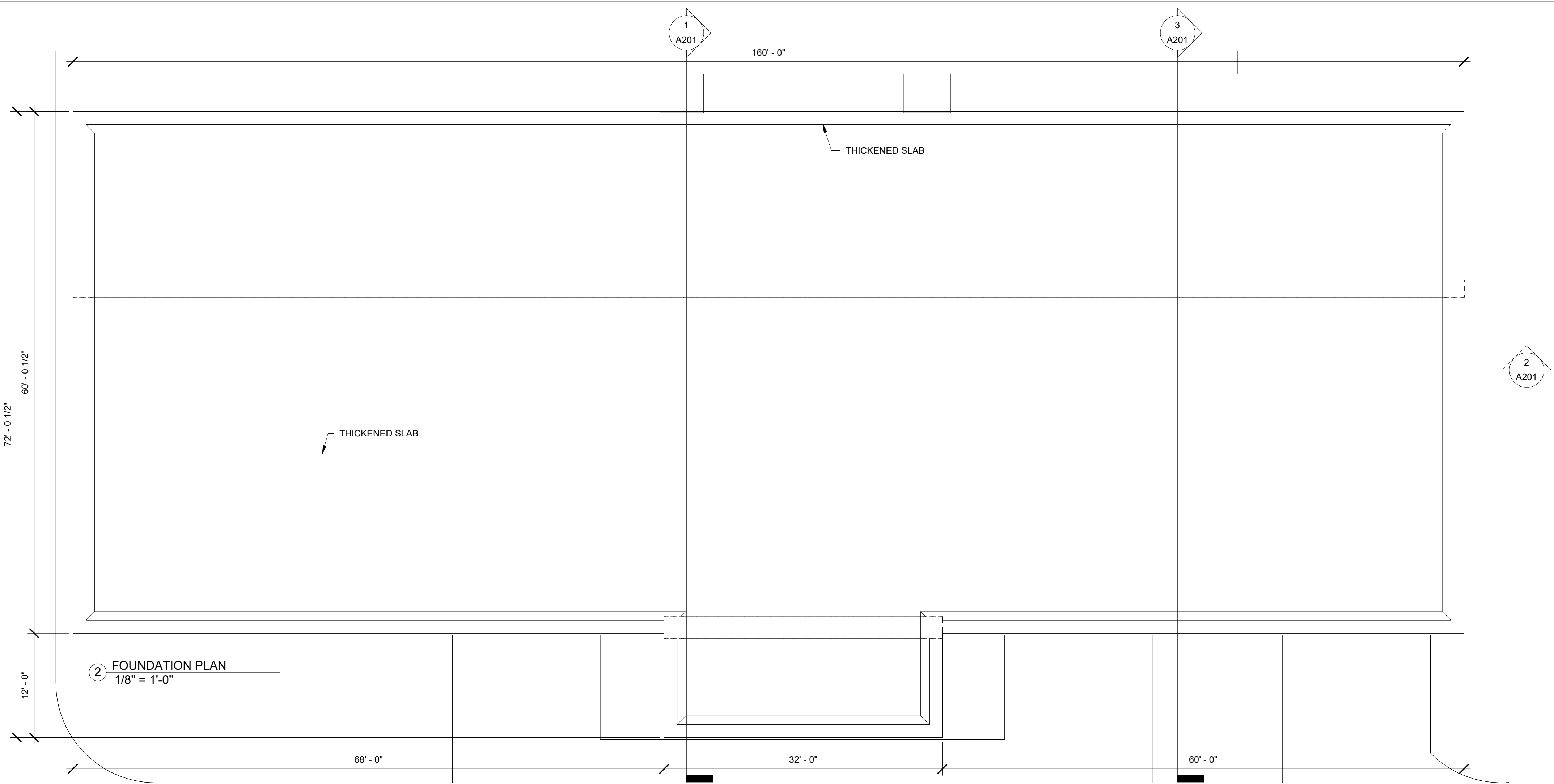
ELEVATION TAG

HB

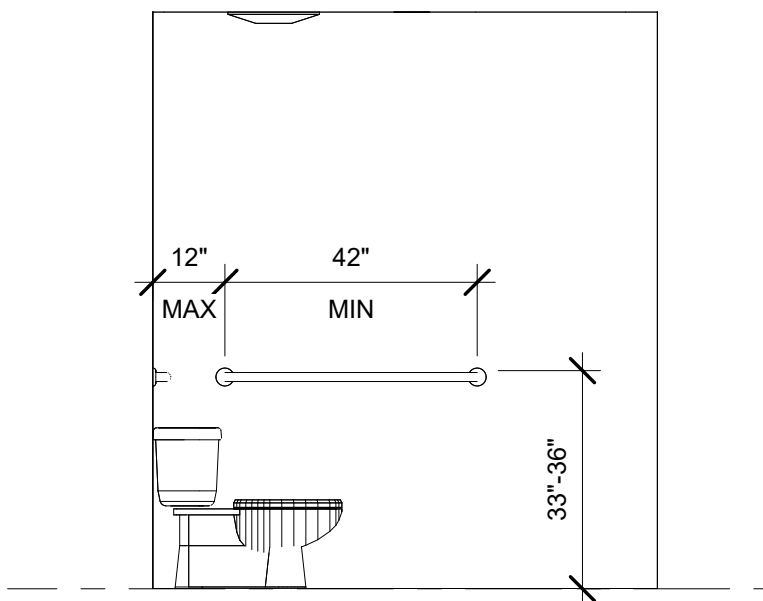
HOSE BIB

ELECTRICAL METER

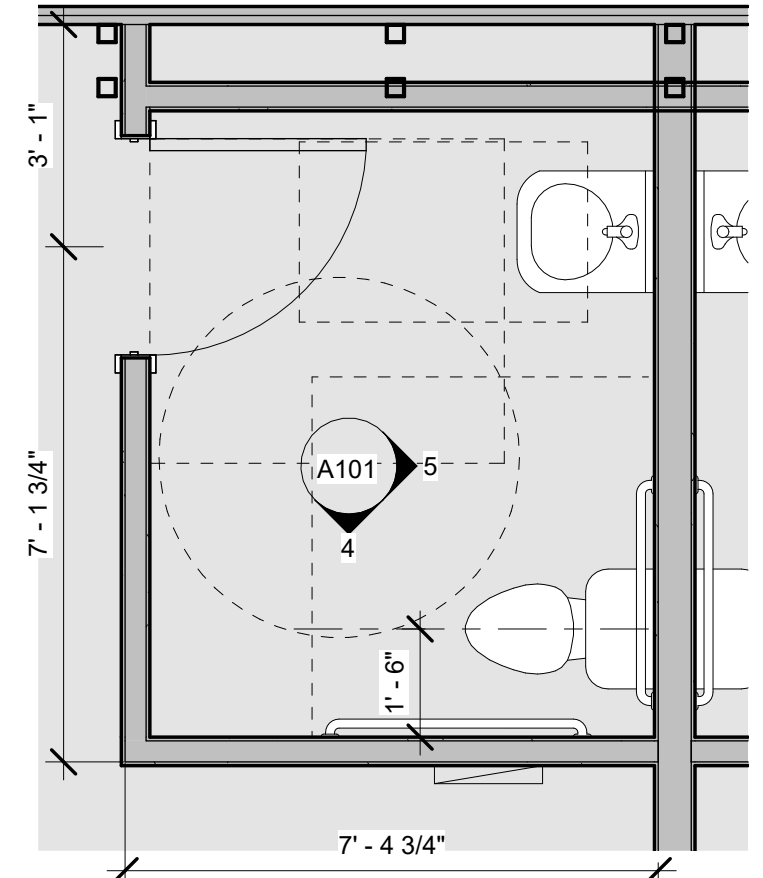
- FLOOR PLAN NOTES
- EXTERIOR WALL R-VALUE SHALL BE 13.
  - CEILING R-VALUE SHALL BE 38.
  - FENESTRATION U-FACTOR SHALL BE .40 MAXIMUM.
  - FENESTRATION GLAZING SHGC SHALL BE .25 MINIMUM.



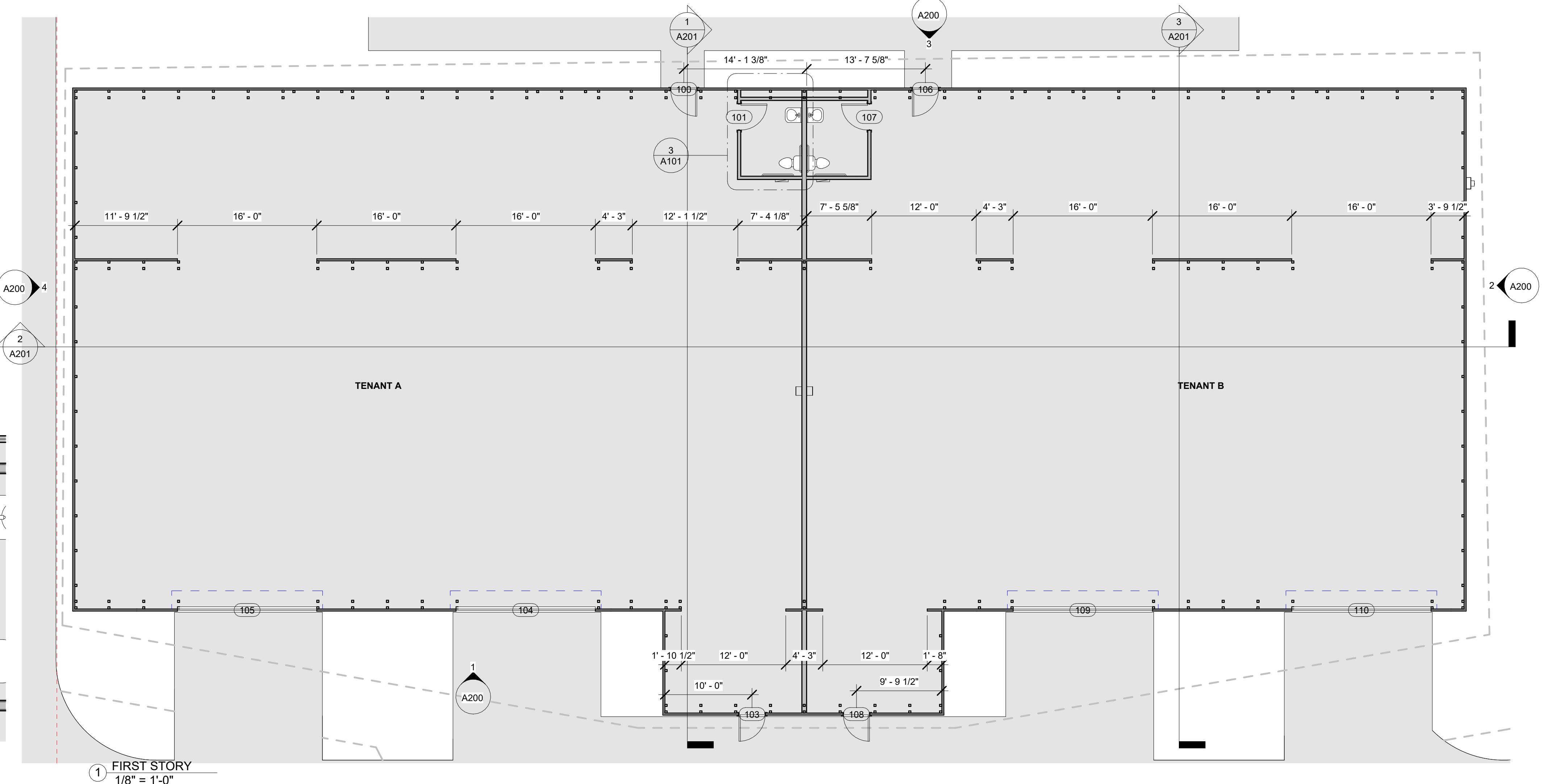
5 RR ELEV 02  
3/8" = 1'-0"



4 RR ELEV 01  
3/8" = 1'-0"



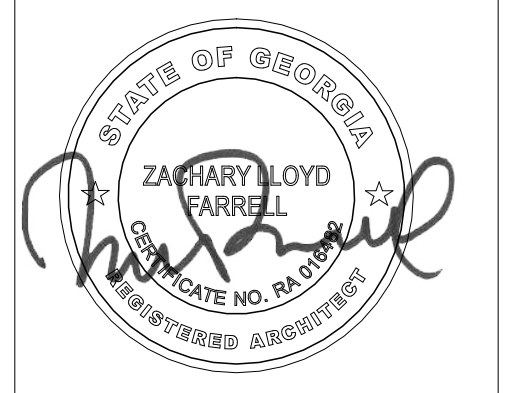
3 ENLARGED PLAN  
3/8" = 1'-0"



1 FIRST STORY  
1/8" = 1'-0"

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**FLOOR PLAN & FOUNDATION PLAN**

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Date 05/06/25

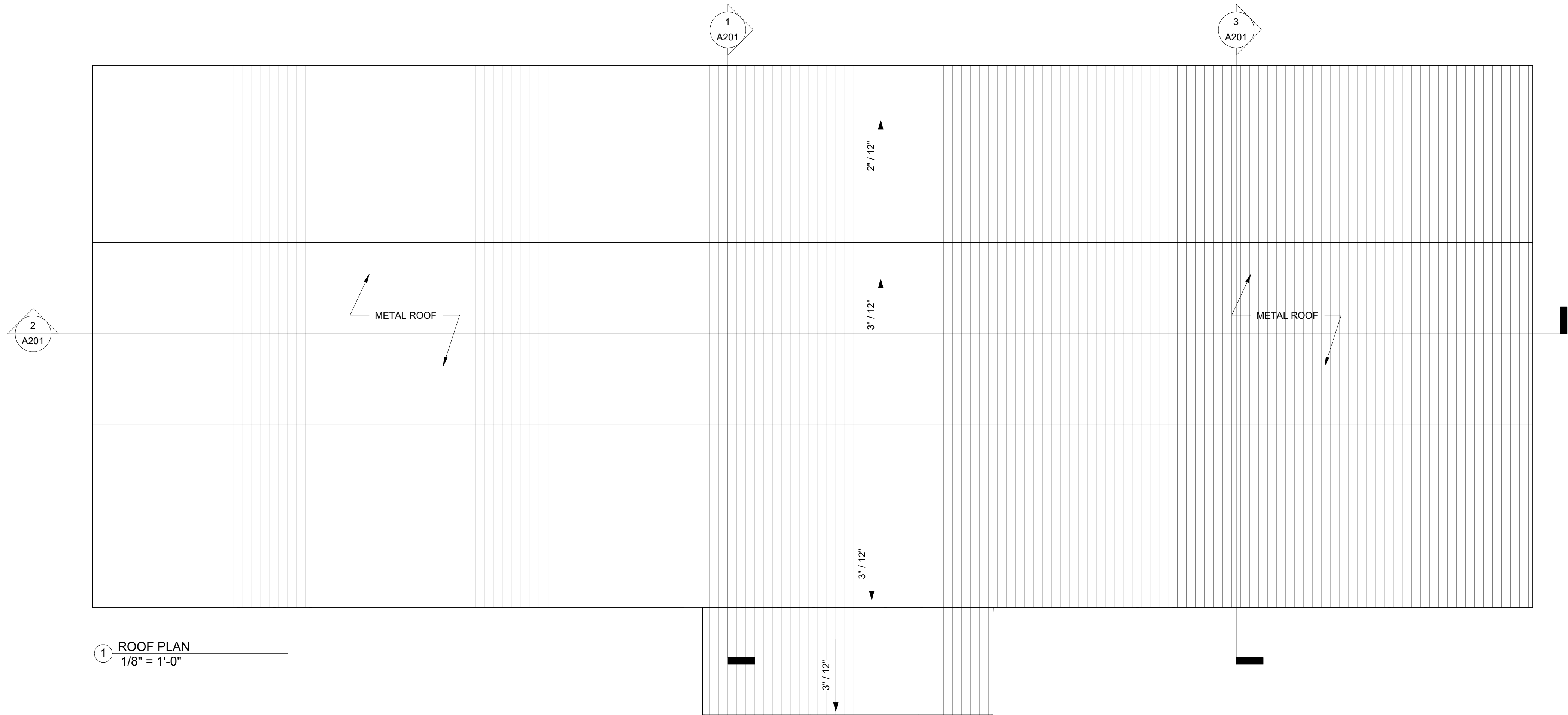
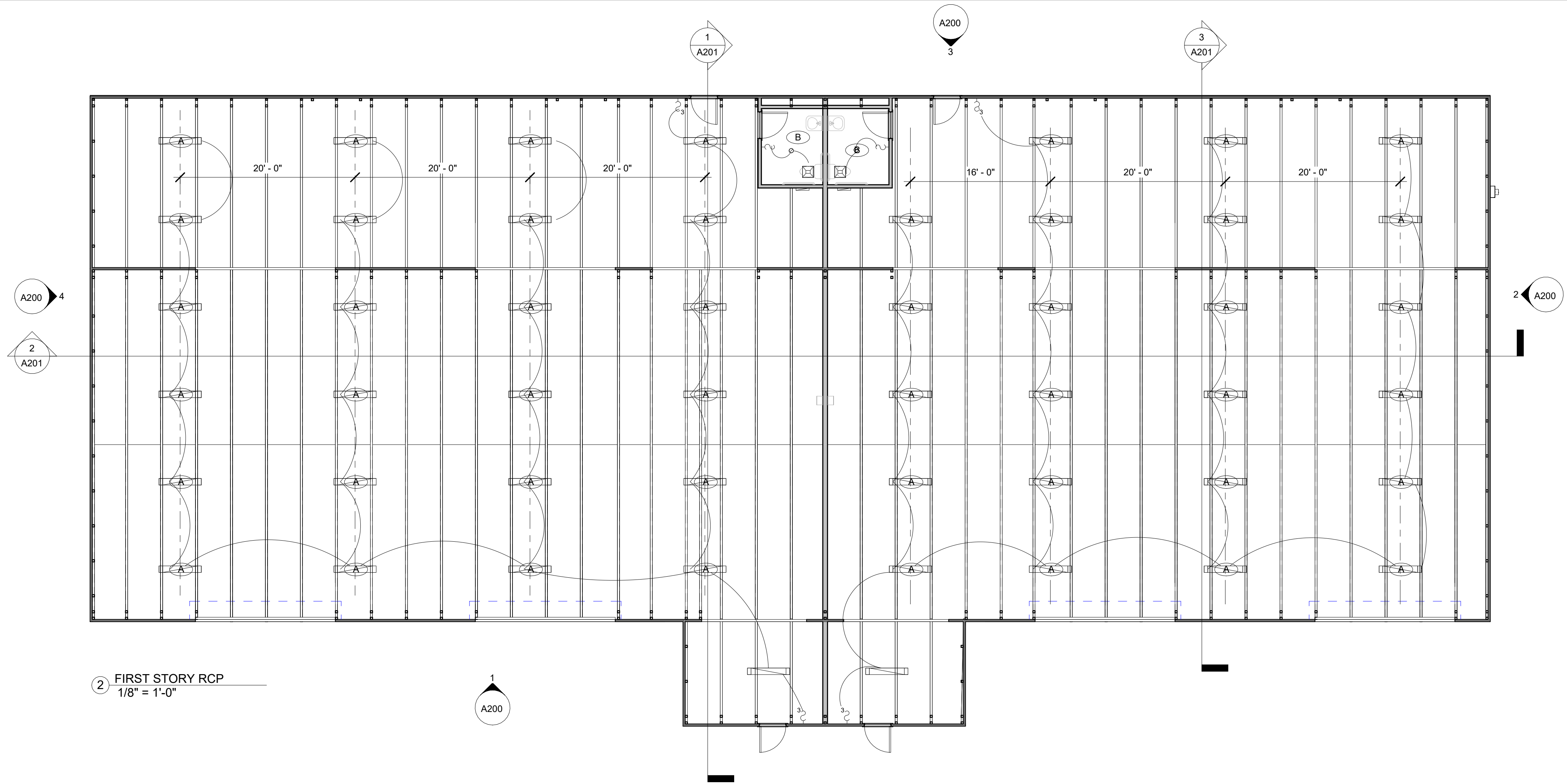
**A101**

RCP LEGEND

- 1'X4' LED LIGHT (A)
- 4" RECESSED CAN LIGHT (B)
- EXHAUST FAN
- ELECTRICAL PANEL
- OUTLET - GFI
- OUTLET - 220
- SWITCH
- SWITCH - 3 WAY

RCP NOTES

1. CEILING C1: R-38 SPRAY FOAM INSULATION ON UNDERSIDE OF DECKING
2. DIMENSIONS ARE TO FACE OF FINISH.
3. CENTER ALL FIXTURES WITHIN THE SPACE UNLESS OTHERWISE NOTED.

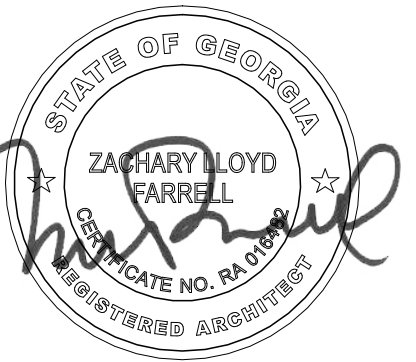


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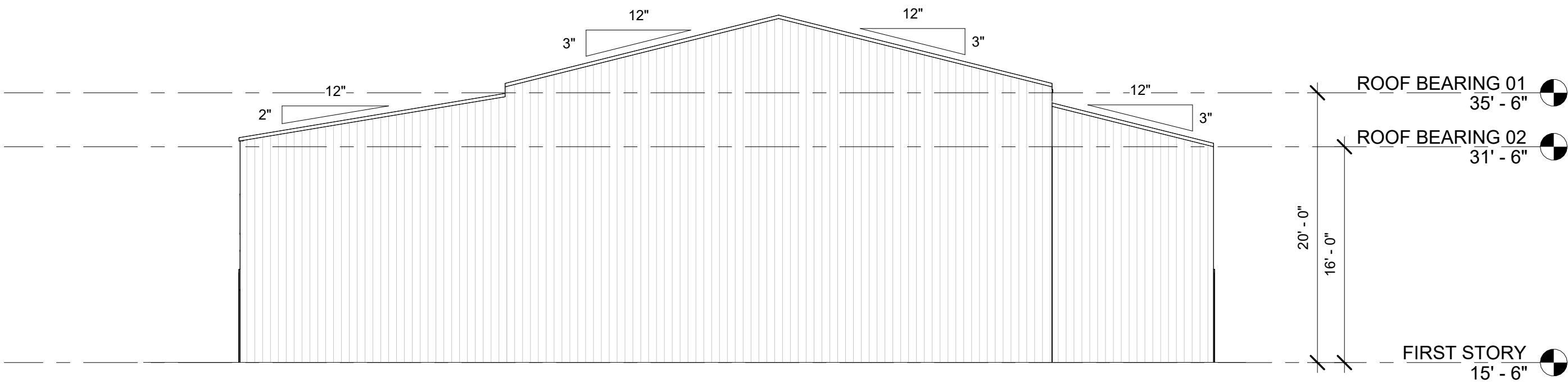
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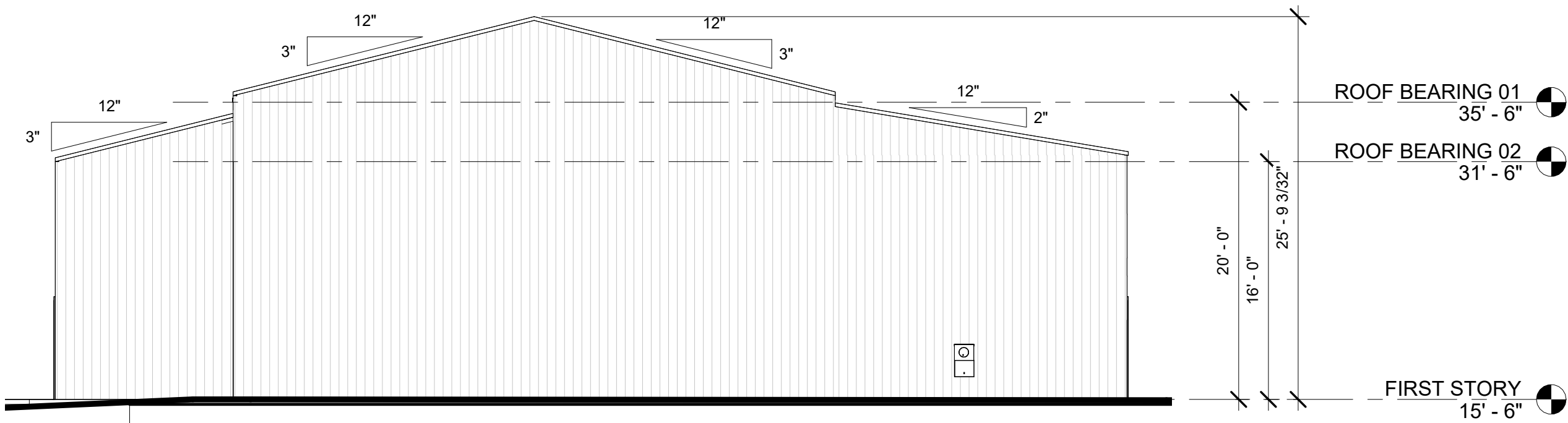
ROOF PLAN & RCP

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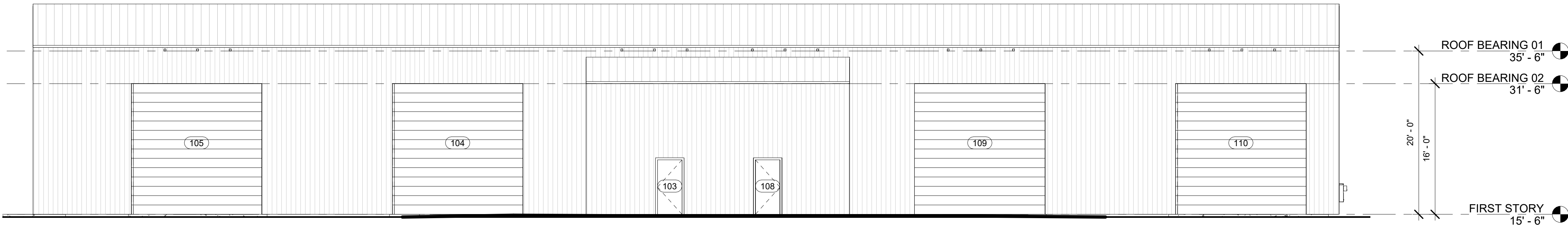
A102



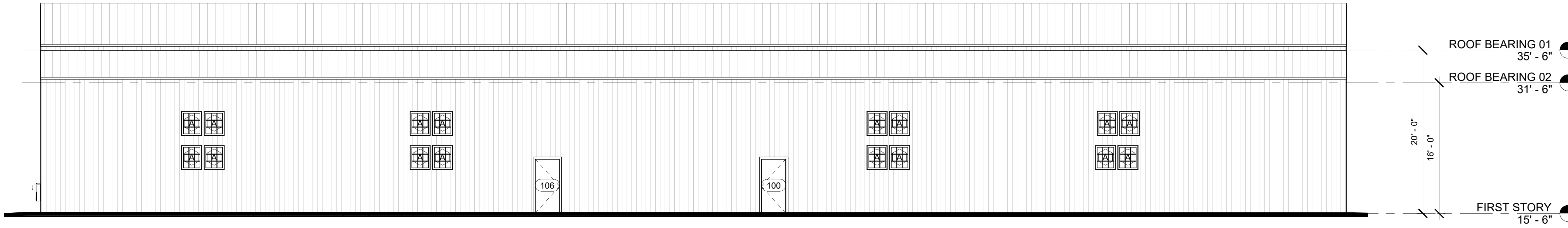
④ LEFT ELEVATION  
1/8" = 1'-0"



② RIGHT ELEVATION  
1/8" = 1'-0"



① FRONT ELEVATION  
1/8" = 1'-0"



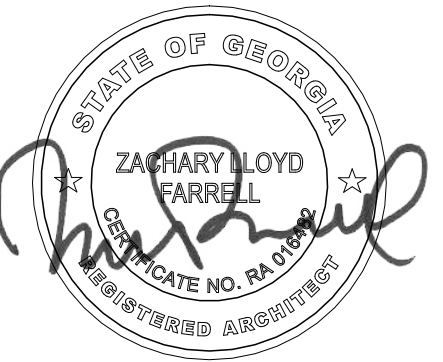
③ REAR ELEVATION  
1/8" = 1'-0"

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## ELEVATIONS

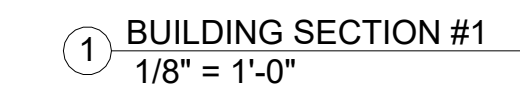
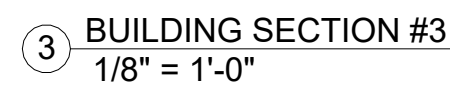
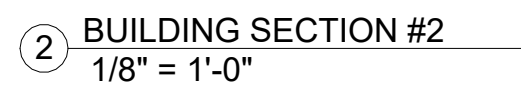
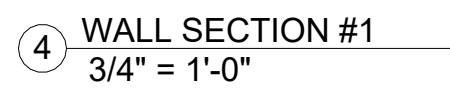
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A200



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RUNSWICK, GA  
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## BUILDING & WALL SECTION

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