

EASTGATE  
WAREHOUSE - LOTS  
1, 2, 3, 5 & 6

05/19/25 SITE PLAN REVIEW

11, 15, 19, 14, 18 EASTGATE DR,  
BRUNSWICK, GA 31525

DESIGN TEAM	SITE INFORMATION
ARCHITECTURAL Zachary L Farrell, AIA ZLF Design Company ZLFdesigncompany@gmail.com 214.803.1803	PARCEL ID: 03-26828, 03-26829, 03-26830, 03-26833, 03-26832 ADDRESS: 11, 15, 19, 14, 18 EASTGATE DR BRUNSWICK, GA 31525 ZONING: PDG SEWER: PUBLIC SEWER FEMA FLOOD ZONE: X

- GENERAL NOTES
- ALL DIMENSIONS TO FACE OF STUD/STRUCTURE FOR INTERIOR AND EXTERIOR WALL PARTITIONS UNLESS OTHERWISE NOTED.
  - THE CONTRACTOR IS NOT TO SCALE DRAWINGS OR DETAILS. ONLY WRITTEN DIMENSIONS ARE TO BE USED.
  - CONDUITS IN FIRE-RELATED PARTITIONS SHALL NOT EXCEED 3/4 INCH DIAMETER. OUTLETS IN RATED PARTITIONS SHALL BE BACKED UP WITH APPROVED MATERIALS MEETING U.L. REQUIREMENTS.
  - CONCEALED SPACES SHALL BE FIRE STOPPED.
  - ACCESSIBLE ROUTES SHALL COMPLY WITH 2010 ADA STD CHAPTER 4.
  - PROTRUDING OBJECTS IN CIRCULATION PATHS ARE TO COMPLY WITH ANSI 2009 SECTION 7. FLOOR AND GROUND SURFACES (INCLUDING FLOOR MATERIAL TRANSITIONS) IN COMMON USE AREAS SHALL BE STABLE, FIRM AND SLIP-RESISTANT AND SHALL COMPLY WITH ANSI 2009 SECTION 302.
  - CHANGES IN LEVEL (INCLUDING FLOOR MATERIAL TRANSITIONS) IN COMMON USE AREAS SHALL COMPLY WITH ANSI 2009 SECTION 303.
  - PROVIDE DOOR CLOSER AND EGRESS PANIC HARDWARE FOR ALL EGRESS DOORS.
  - ALL PORTABLE FIRE EXTINGUISHERS SHALL COMPLY WITH THE LOCAL FIRE DEPARTMENT AND THE NFPA 10 STANDARD FOR PORTABLE FIRE EXTINGUISHERS.
  - PROVIDE CLASS A MULTIPURPOSE DRY-CHEMICAL TYPE IN STEEL CONTAINER: UL-RATED 4-A-60-B-C, 10-LB NOMINAL CAPACITY.
  - HANDRAILS SHALL HAVE A CROSS SECTION OF 1-1/2".
  - CLEARANCE BETWEEN HANDRAIL AND WALL OR ATTACHMENT SURFACE SHALL NOT BE LESS THAN 1-1/2".
  - ALL DOOR HARDWARE TO BE FROM THE SAME MANUFACTURER.
  - DESIGN OF MONOLITHIC SLAB AND PREFABRICATED METAL STRUCTURED SHALL BE DESIGNATED DESIGN THROUGH THE GENERAL CONTRACTOR.

- SITE PLAN NOTES
- INTENDED USE:  
THE PROPOSED PROJECT IS THE CONSTRUCTION OF A 1-STORY 9,089 SF WAREHOUSE BUILDING

2.OWNER:  
BRUNSWICK AND GLYNN COUNTY DEVELOPMENT AUTHORITY  
4 GLYNN AVENUE  
BRUNSWICK, GA 31520  
(912) 265-6629

DEVELOPER:  
BLACK INK DEVELOPMENT  
CALVIN COLLINS  
CALVIN@BLACKINKBUILD.COM

3. NOT USED

4. NOT USED

5. NOT USED

6. DEVELOPMENT STANDARDS FOR GOLDEN ISLES GATEWAY:  
ZONING: PD-G DECEMBER 1999  
ZONING APP: GC-34-99  
DISTRICT: ODI (OFFICE/DISTRIBUTION/INDUSTRIAL)  
MINIMUM SIZE LOT: 1ac  
MAXIMUM BUILDING HEIGHT: 45 FT  
MINIMUM LOT WIDTH: 60 FT  
SETBACKS:  
MIN FRONT YARD: 25 FT  
MIN SIDE YARD: 25 FT  
MIN REAR YARD: 25 FT

7. PROPOSED UTILITIES:  
WATER: THE PROPOSED WATER WILL TIE INTO THE EXISTING WATER LOCATED IN THE RIGHT OF WAY OF EASTGATE DRIVE  
SEWER: THE PROPOSED GRAVITY SEWER WILL BE ROUTED TO A PROPOSED SEPTIC SYSTEM

STORMWATER:

8. ACCORDING TO F.I.R.M. MAP NO. 13127C, PANELS 115F AND 120F, REVISED SEPTEMBER 6, 2006, ALL PORTIONS OF THE PROPERTY SHOWN FALL WITHIN FLOOD ZONE X

9. EXTERIOR LIGHTING WILL COMPLY WITH 622 OF THE GLYNN COUNTY ZONING ORDINANCE

10. FIRE DEPARTMENT CONNECTION WILL BE PROVIDED.

11. THIS SITE WILL COMPLY WITH BUFFER REQUIREMENTS.

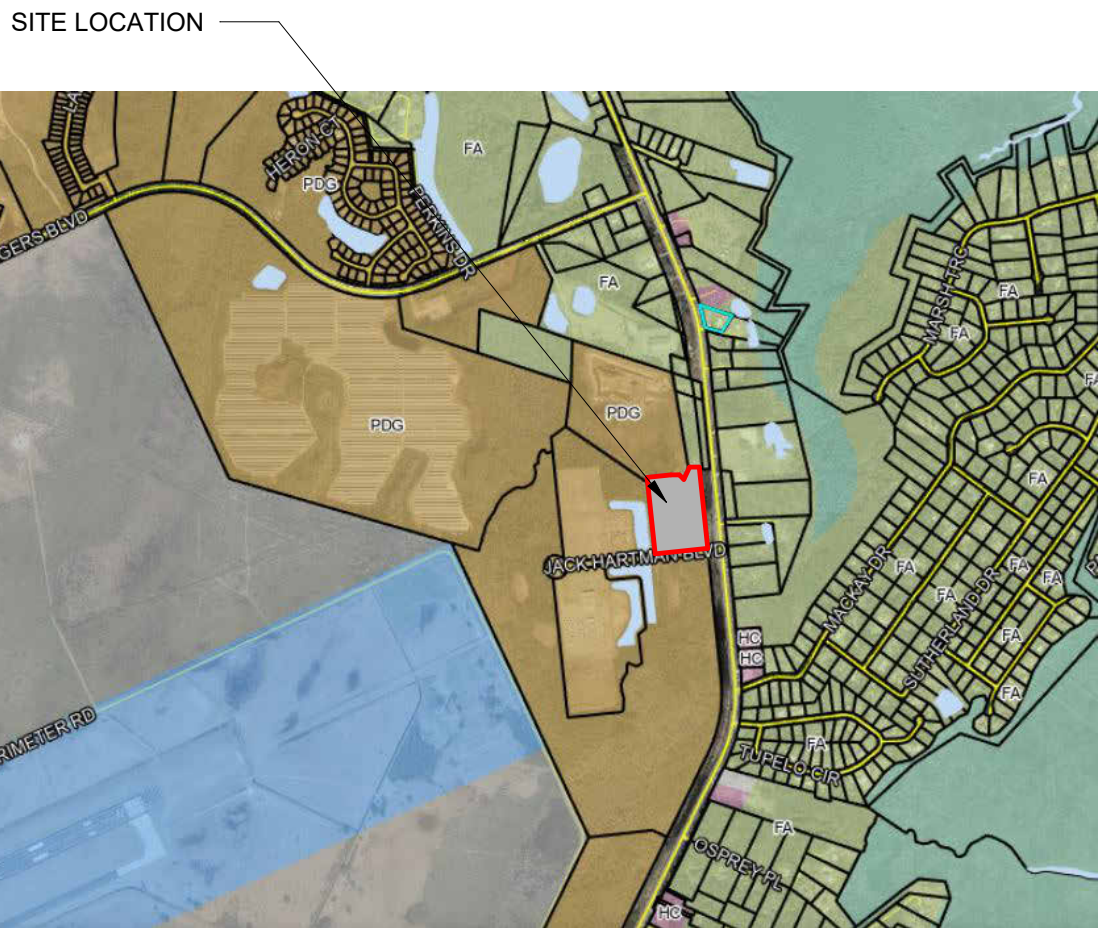
12. SIGNAGE FOR THIS SITE WILL BE COMPLIANT WITH 811.7 OF THE GLYNN COUNTY ZONING ORDINANCE.

13. (3) RIGHT OF WAY TYPE "E" BUFFER:  
LARGE DECIDUOUS TREES = 14  
SMALL DECIDUOUS TREES = 23

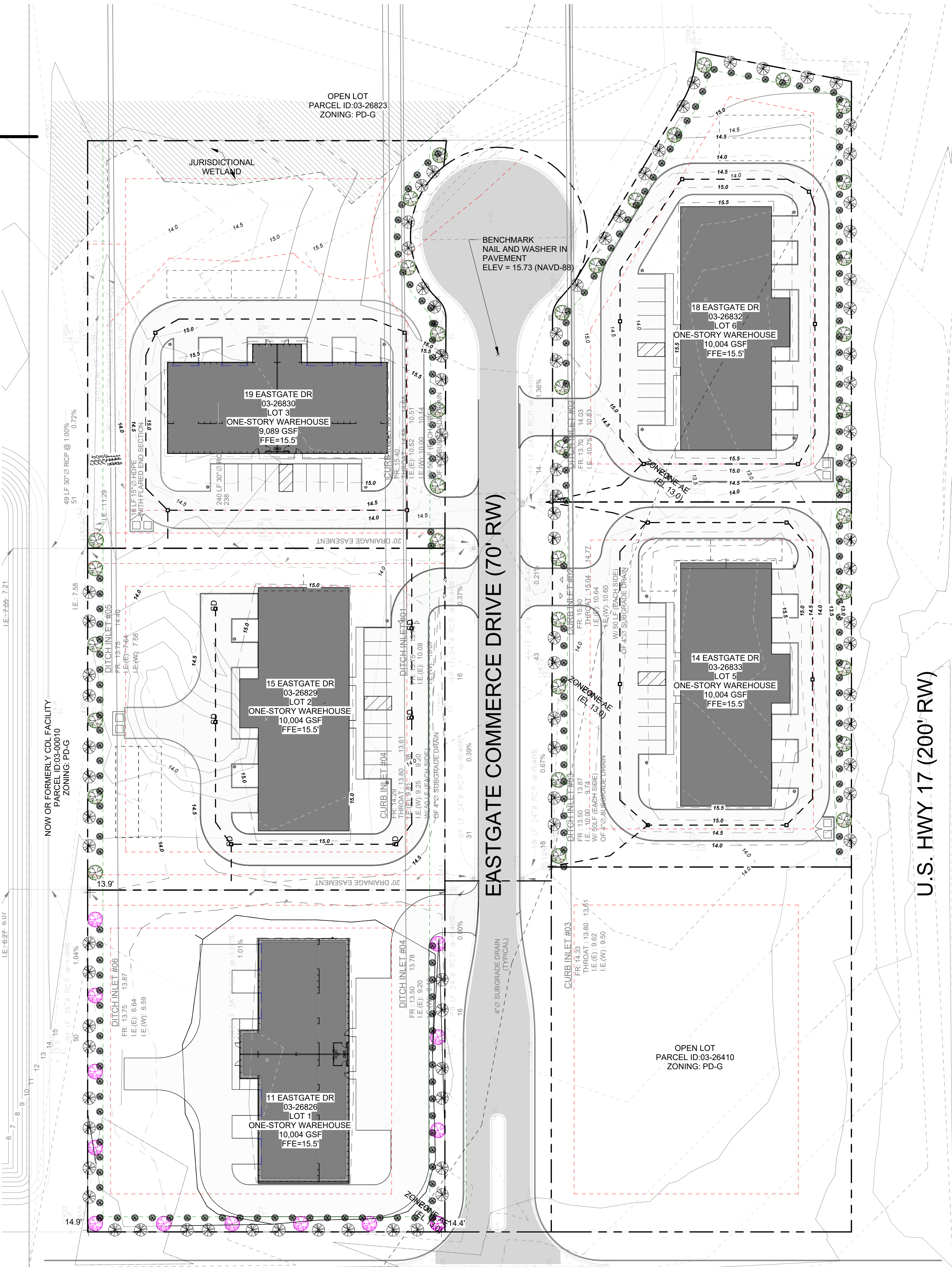
14. NOT USED

15. FLOOD LINES SHOWN WERE SCALED FROM FLOOD MAPS AND ARE APPROXIMATE. FLOOD LINES ARE BASED ON NAVD88.

SITE PLAN LEGEND	
	PROPERTY LINE
	EXISTING CONTOUR
	NEW CONTOUR
	SETBACK/EASEMENT
	DRAINAGE LINE
	BUFFER
	LARGE DECIDUOUS TREE
	SMALL DECIDUOUS TREE
	HEDGE
	LIGHT POLE
	IRON PIPE FOUND



1 VICINITY MAP  
1" = 20'-0"



4 SITE PLAN  
1" = 40'-0"

ZLF

ZLF Design Company, LLC  
zlfdesigncompany@gmail.com  
214.803.1803 www.zlf-arch.com

EASTGATE  
WAREHOUSE  
- LOT 1, 2, 3,  
5, & 6

11, 15, 19, 14, 18 EASTGATE DR  
BRUNSWICK, GA  
31525



05/19/25 SITE PLAN REVIEW

No.	Issue	Date

COVER SHEET,  
INDEX, GENERAL  
NOTES AND SITE  
PLAN

Project Number 2510

Date 05/06/25

A000



EASTGATE  
WAREHOUSE - LOT 1

05/01/25 SITE PLAN REVIEW

11 EASTGATE DR, BRUNSWICK, GA 31525

DESIGN TEAM			
ARCHITECTURAL			
Zachary L Farrell, AIA			
ZLF Design Company			
ZLFdesigncompany@gmail.com			
214.803.1803			

SITE INFORMATION			
PARCEL ID: ADDRESS:	03-26828	BUILDING	10,004 GSF
	11 EASTGATE DR BRUNSWICK, GA 31525	PARKING/DRIVE	16,523 SF
ZONING: LOT AREA:	PDG	TOTAL COVERAGE	26,527 SF (.609 AC)(60.8%)
	52,837 SF (1.23 AC)		
SEWER: FEMA FLOOD ZONE:	PUBLIC SEWER	EMPLOYEES	20 EMPLOYEES
	X	PARKING REQ.	1 SPACE/2 EMPLOYEES
		PARKING PROV.	10 SPACES

- GENERAL NOTES

1.

ALL DIMENSIONS TO FACE OF STUD/STRUCTURE FOR INTERIOR AND EXTERIOR WALL PARTITIONS UNLESS OTHERWISE NOTED.

2.

THE CONTRACTOR IS NOT TO SCALE DRAWINGS OR DETAILS. ONLY WRITTEN DIMENSIONS ARE TO BE USED.

3.

CONDUITS IN FIRE-RELATED PARTITIONS SHALL NOT EXCEED 3/4 INCH DIAMETER. OUTLETS IN RATED PARTITIONS SHALL BE BACKED UP WITH APPROVED MATERIALS MEETING U.L. REQUIREMENTS

4.

CONCEALED SPACES SHALL BE FIRE STOPPED.

5.

ACCESSIBLE ROUTES SHALL COMPLY WITH 2010 ADA STD CHAPTER 4.

6.

PROTRUDING OBJECTS IN CIRCULATION PATHS ARE TO COMPLY WITH ANSI 2009 SECTION 7.

7.

FLOOR AND GROUND SURFACES (INCLUDING FLOOR MATERIAL TRANSITIONS) IN COMMON USE AREAS SHALL BE STABLE, FIRM AND SLIP-RESISTANT AND SHALL COMPLY WITH ANSI 2009 SECTION 302.

8.

CHANGES IN LEVEL (INCLUDING FLOOR MATERIAL TRANSITIONS) IN COMMON USE AREAS SHALL COMPLY WITH ANSI 2009 SECTION 303.

9.

PROVIDE DOOR CLOSER AND EGRESS PANIC HARDWARE FOR ALL EGRESS DOORS.

10.

ALL PORTABLE FIRE EXTINGUISHERS SHALL COMPLY WITH THE LOCAL FIRE DEPARTMENT AND THE NFPA 10 STANDARD FOR PORTABLE FIRE EXTINGUISHERS

11.

PROVIDE CLASS A MULTIPURPOSE DRY-CHEMICAL TYPE IN STEEL CONTAINER: UL-RATED 4-A-60-B-C, 10-LB NOMINAL CAPACITY.

12.

HANDRAILS SHALL HAVE A CROSS SECTION OF 1-1/2".

13.

CLEARANCE BETWEEN HANDRAIL AND WALL OR ATTACHMENT SURFACE SHALL NOT BE LESS THAN 1-1/2".

14.

ALL DOOR HARDWARE TO BE FROM THE SAME MANUFACTURER.

15.

DESIGN OF MONOLITHIC SLAB AND PREFABRICATED METAL STRUCTURED SHALL BE DESIGNATED DESIGN THROUGH THE GENERAL CONTRACTOR.
- SITE PLAN NOTES

1.

INTENDED USE:  
THE PROPOSED PROJECT IS THE CONSTRUCTION OF A 1-STORY 10,004 SF WAREHOUSE BUILDING

2.

OWNER:  
BRUNSWICK AND GLYNN COUNTY DEVELOPMENT AUTHORITY  
4 GLYNN AVENUE  
BRUNSWICK, GA 31520  
(912) 265-6629

DEVELOPER:

BLACK INK DEVELOPMENT  
CALVIN COLLINS  
CALVIN@BLACKINKBUILD.COM

3.

PARKING REQUIREMENTS:  
WAREHOUSE:  
1 SPACE PER 2 EMPLOYEES  
20 EMPLOYEES  
WAREHOUSE PARKING = 10 SPACES

4.

SITE COVERAGE:  
TOTAL AREA: 1.22AC  
TOTAL IMPERVIOUS 0.609 AC (60.8%)

5.

SITE DESCRIPTION:  
LEGAL DESCRIPTION - LOT 1 EASTGATE COMMERCE PARK PHS 1  
PROPERTY ADDRESS - 11 EASTGATE DR BRUNSWICK GA 31525

6.

DEVELOPMENT STANDARDS FOR GOLDEN ISLES GATEWAY:  
ZONING: PD-G DECEMBER 1999  
ZONING APP: GC-34-99  
DISTRICT: ODI (OFFICE/DISTRIBUTION/INDUSTRIAL)  
MINIMUM SIZE LOT: 1ac  
MAXIMUM BUILDING HEIGHT: 45 FT  
MINIMUM LOT WIDTH: 60 FT  
SETBACKS:  
MIN FRONT YARD: 25 FT  
MIN SIDE YARD: 25 FT  
MIN REAR YARD: 25 FT

7.

PROPOSED UTILITIES:  
WATER: THE PROPOSED WATER WILL TIE INTO THE EXISTING WATER LOCATED IN THE RIGHT OF WAY OF EASTGATE DRIVE  
SEWER: THE PROPOSED GRAVITY SEWER WILL BE ROUTED TO A PROPOSED SEPTIC SYSTEM

STORMWATER:

8.

ACCORDING TO F.I.R.M. MAP NO. 13127C, PANELS 115F AND 120F, REVISED SEPTEMBER 6, 2006, A PORTION OF THE PROPERTY SHOWN FALLS WITHIN FLOOD ZONE AE

9.

EXTERIOR LIGHTING WILL COMPLY WITH 622 OF THE GLYNN COUNTY ZONING ORDINANCE

10.

FIRE DEPARTMENT CONNECTION WILL BE PROVIDED.

11.

THIS SITE WILL COMPLY WITH BUFFER REQUIREMENTS - TYPE "E" BUFFER ALONG THE EAST AND SOUTH SIDES OF THE PROPERTY.

12.

SIGNAGE FOR THIS SITE WILL BE COMPLIANT WITH 811.7 OF THE GLYNN COUNTY ZONING ORDINANCE.

13.

(3) RIGHT OF WAY TYPE "E" BUFFER:  
LARGE DECIDUOUS TREES = 14  
SMALL DECIDUOUS TREES = 23

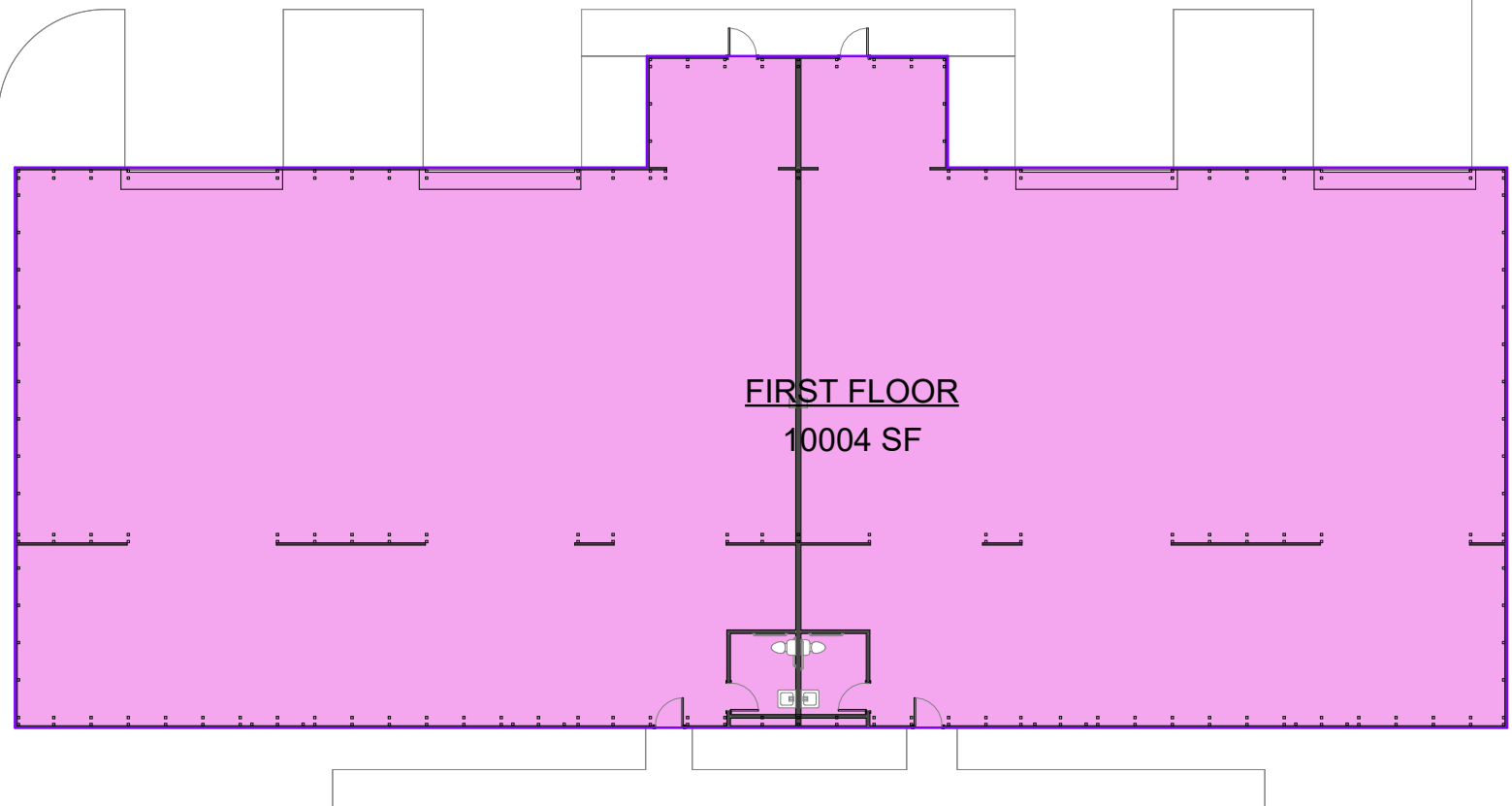
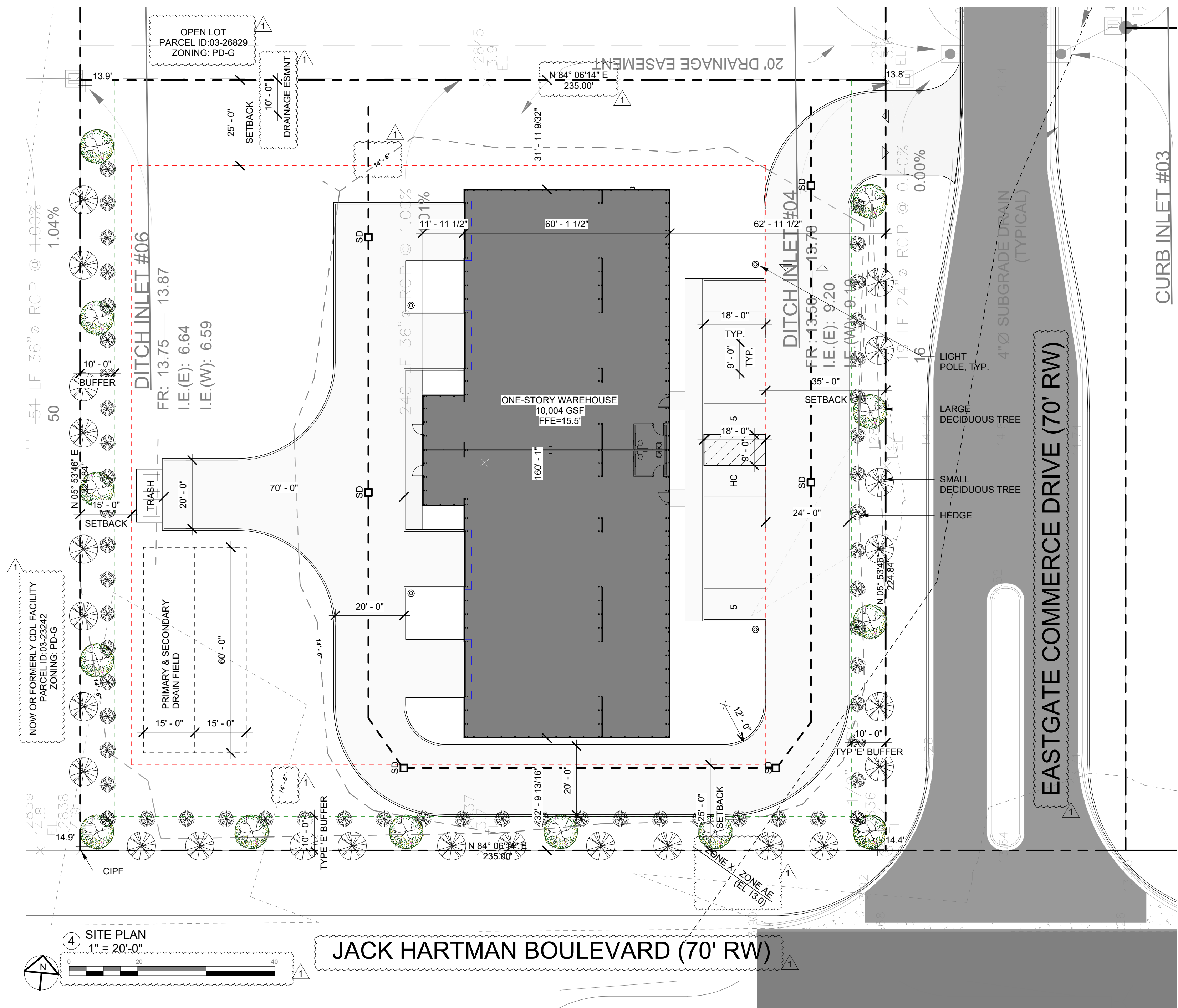
14.

SQUARE FOOTAGE:  
1ST FOOR = 10,004 SF

15.

FLOOD LINES SHOWN WERE SCALED FROM FLOOD MAPS AND ARE APPROXIMATE. FLOOD LINES ARE BASED ON NAVD88.

SITE PLAN LEGEND	
	PROPERTY LINE
	EXISTING CONTOUR
	NEW CONTOUR
	SETBACK/EASEMENT
	DRAINAGE LINE
	BUFFER
	LARGE DECIDUOUS TREE
	SMALL DECIDUOUS TREE
	HEDGE
	LIGHT POLE
	IRON PIPE FOUND



Area Schedule	
Name	Area
FIRST FLOOR	10004 SF
GRAND TOTAL	10004 SF

ZLF

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EASTGATE  
WAREHOUSE  
- LOT 1

11 EASTGATE DR  
BRUNSWICK, GA  
31525



05/01/25 SITE PLAN REVIEW		
No.	Issue	Date
1	REVISION-01	05/19/25

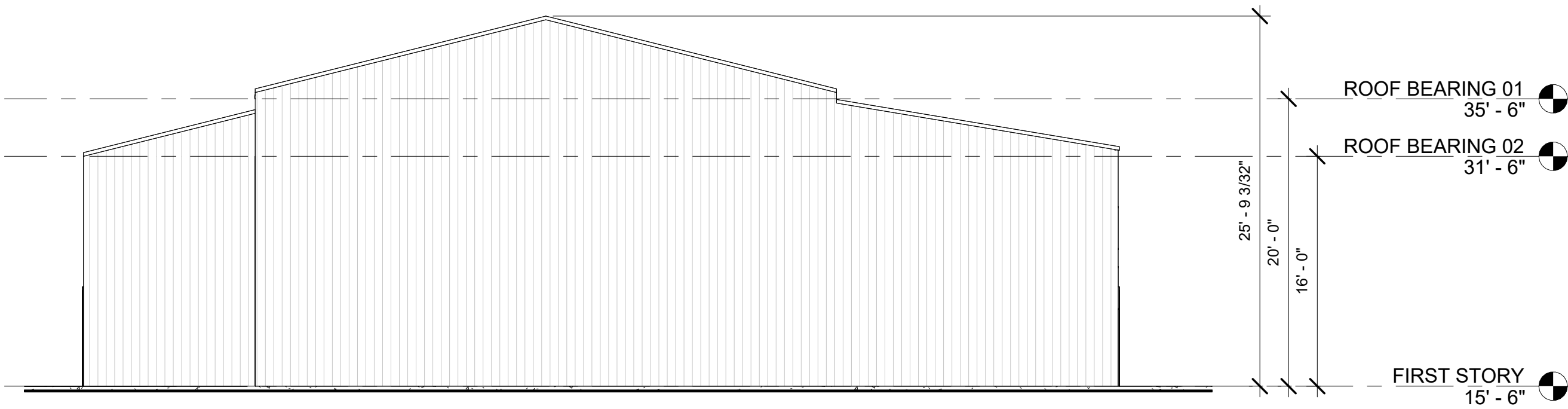
COVER SHEET,  
INDEX, GENERAL  
NOTES AND SITE  
PLAN

Project Number 2510

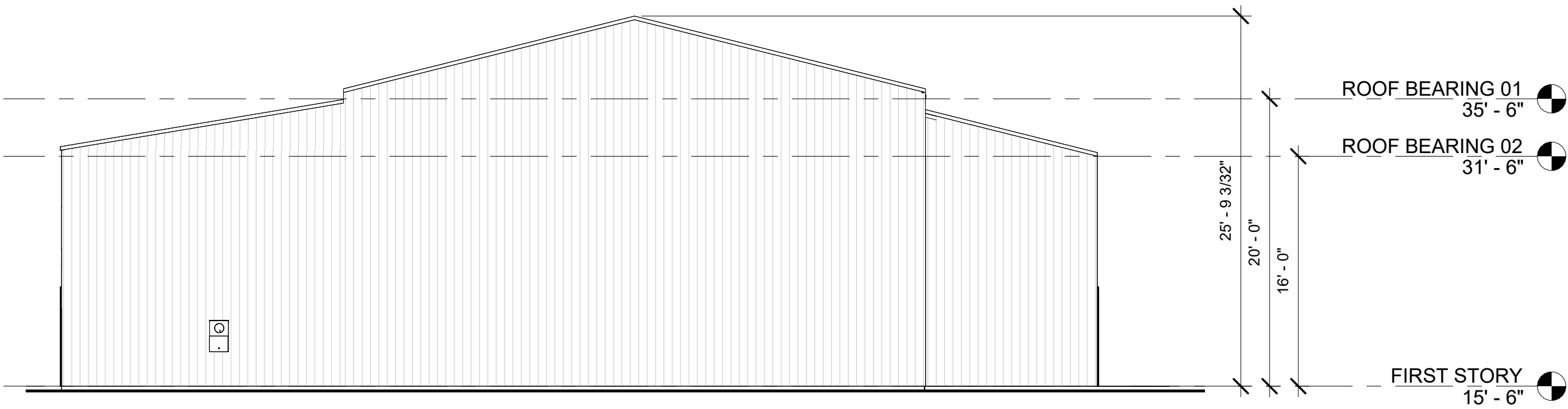
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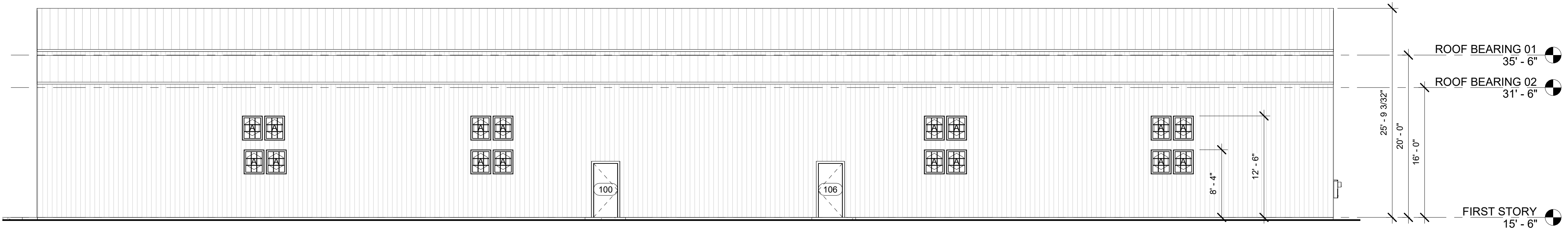




④ LEFT ELEVATION  
1/8" = 1'-0"



② RIGHT ELEVATION  
1/8" = 1'-0"



① FRONT ELEVATION  
1/8" = 1'-0"



③ REAR ELEVATION  
1/8" = 1'-0"

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## EASTGATE WAREHOUSE - LOT 1

11 EASTGATE DR  
BRUNSWICK, GA  
31525



05/01/25 SITE PLAN REVIEW

No.	Issue	Date

### ELEVATIONS

Project Number 2510

Date 05/06/25

A200



EASTGATE  
WAREHOUSE - LOT 2

05/19/25 SITE PLAN REVIEW

15 EASTGATE DR, BRUNSWICK, GA 31525

DESIGN TEAM	SITE INFORMATION			
ARCHITECTURAL Zachary L Farrell, AIA ZLF Design Company ZLFdesigncompany@gmail.com 214.803.1803	PARCEL ID: ADDRESS: ZONING: LOT AREA: SEWER: FEMA FLOOD ZONE:	03-26829 15 EASTGATE DR BRUNSWICK, GA 31525 PDG 52,707 SF (1.21 AC) PUBLIC SEWER X	BUILDING PARKING/DRIVE TOTAL COVERAGE  EMPLOYEES PARKING REQ. PARKING PROV.	10,004 GSF 16,169 SF 26,133 SF (.599 AC)(49.5%)  20 EMPLOYEES 1 SPACE/2 EMPLOYEES 10 SPACES

- GENERAL NOTES

1.

ALL DIMENSIONS TO FACE OF STUD/STRUCTURE FOR INTERIOR AND EXTERIOR WALL PARTITIONS UNLESS OTHERWISE NOTED.

2.

THE CONTRACTOR IS NOT TO SCALE DRAWINGS OR DETAILS. ONLY WRITTEN DIMENSIONS ARE TO BE USED.

3.

CONDUITS IN FIRE-RELATED PARTITIONS SHALL NOT EXCEED 3/4 INCH DIAMETER. OUTLETS IN RATED PARTITIONS SHALL BE BACKED UP WITH APPROVED MATERIALS MEETING U.L. REQUIREMENTS.

4.

CONCEALED SPACES SHALL BE FIRE STOPPED.

5.

ACCESSIBLE ROUTES SHALL COMPLY WITH 2010 ADA STD CHAPTER 4.

6.

PROTRUDING OBJECTS IN CIRCULATION PATHS ARE TO COMPLY WITH ANSI 2009 SECTION 7.

7.

FLOOR AND GROUND SURFACES (INCLUDING FLOOR MATERIAL TRANSITIONS) IN COMMON USE AREAS SHALL BE STABLE, FIRM AND SLIP-RESITANT AND SHALL COMPLY WITH ANSI 2009 SECTION 902.

8.

CHANGES IN LEVEL (INCLUDING FLOOR MATERIAL TRANSITIONS) IN COMMON USE AREAS SHALL COMPLY WITH ANSI 2009 SECTION 303.

9.

PROVIDE DOOR CLOSER AND EGRESS PANIC HARDWARE FOR ALL EGRESS DOORS.

10.

ALL PORTABLE FIRE EXTINGUISHERS SHALL COMPLY WITH THE LOCAL FIRE DEPARTMENT AND THE NFPA 10 STANDARD FOR PORTABLE FIRE EXTINGUISHERS.

11.

PROVIDE CLASS A MULTIPURPOSE DRY-CHEMICAL TYPE IN STEEL CONTAINER: UL-RATED 4-A-60-B-C, 10-LB NOMINAL CAPACITY.

12.

HANDRAILS SHALL HAVE A CROSS SECTION OF 1-1/2".

13.

CLEARANCE BETWEEN HANDRAIL AND WALL OR ATTACHMENT SURFACE SHALL NOT BE LESS THAN 1-1/2".

14.

ALL DOOR HARDWARE TO BE FROM THE SAME MANUFACTURER.

15.

DESIGN OF MONOLITHIC SLAB AND PREFABRICATED METAL STRUCTURED SHALL BE DESIGNATED DESIGN THROUGH THE GENERAL CONTRACTOR.
- SITE PLAN NOTES

1.

INTENDED USE:  
THE PROPOSED PROJECT IS THE CONSTRUCTION OF A 1-STORY 10,004 SF WAREHOUSE BUILDING

2.

OWNER:  
BRUNSWICK AND GLYNN COUNTY DEVELOPMENT AUTHORITY  
4 GLYNN AVENUE  
BRUNSWICK, GA 31520  
(912) 265-6629

DEVELOPER:

BLACK INK DEVELOPMENT  
CALVIN COLLINS  
CALVIN@BLACKINKBUILD.COM

3.

PARKING REQUIREMENTS:  
WAREHOUSE:  
1 SPACE PER 2 EMPLOYEES  
20 EMPLOYEES  
WAREHOUSE PARKING = 10 SPACES

4.

SITE COVERAGE:  
TOTAL AREA: 1.21AC  
TOTAL IMPERVIOUS 0.599 AC (49.5%)

5.

SITE DESCRIPTION:  
LEGAL DESCRIPTION - LOT 2 EASTGATE COMMERCE PARK PH5 1  
PROPERTY ADDRESS - 15 EASTGATE DR BRUNSWICK GA 31525

6.

DEVELOPMENT STANDARDS FOR GOLDEN ISLES GATEWAY:  
ZONING: PD-G DECEMBER 1999  
ZONING APP: GC-34-99  
DISTRICT: ODI (OFFICE/DISTRIBUTION/INDUSTRIAL)  
MINIMUM SIZE LOT: 1ac  
MAXIMUM BUILDING HEIGHT: 45 FT  
MINIMUM LOT WIDTH: 60 FT  
SETBACKS:  
MIN FRONT YARD: 25 FT  
MIN SIDE YARD: 25 FT  
MIN REAR YARD: 25 FT

7.

PROPOSED UTILITIES:  
WATER: THE PROPOSED WATER WILL TIE INTO THE EXISTING WATER LOCATED IN THE RIGHT OF WAY OF EASTGATE DRIVE  
SEWER: THE PROPOSED GRAVITY SEWER WILL BE ROUTED TO A PROPOSED SEPTIC SYSTEM

STORMWATER:

8.

ACCORDING TO F.I.R.M. MAP NO. 13127C, PANELS 115F AND 120F, REVISED SEPTEMBER 6, 2006, ALL PORTIONS OF THE PROPERTY SHOWN FALL WITHIN FLOOD ZONE X

9.

EXTERIOR LIGHTING WILL COMPLY WITH 622 OF THE GLYNN COUNTY ZONING ORDINANCE

10.

FIRE DEPARTMENT CONNECTION WILL BE PROVIDED.

11.

THIS SITE WILL COMPLY WITH BUFFER REQUIREMENTS - TYPE "E" BUFFER ALONG THE EAST AND WEST SIDES OF THE PROPERTY.

12.

SIGNAGE FOR THIS SITE WILL BE COMPLIANT WITH 811.7 OF THE GLYNN COUNTY ZONING ORDINANCE.

13.

(3) RIGHT OF WAY TYPE "E" BUFFER:  
LARGE DECIDUOUS TREES = 14  
SMALL DECIDUOUS TREES = 23

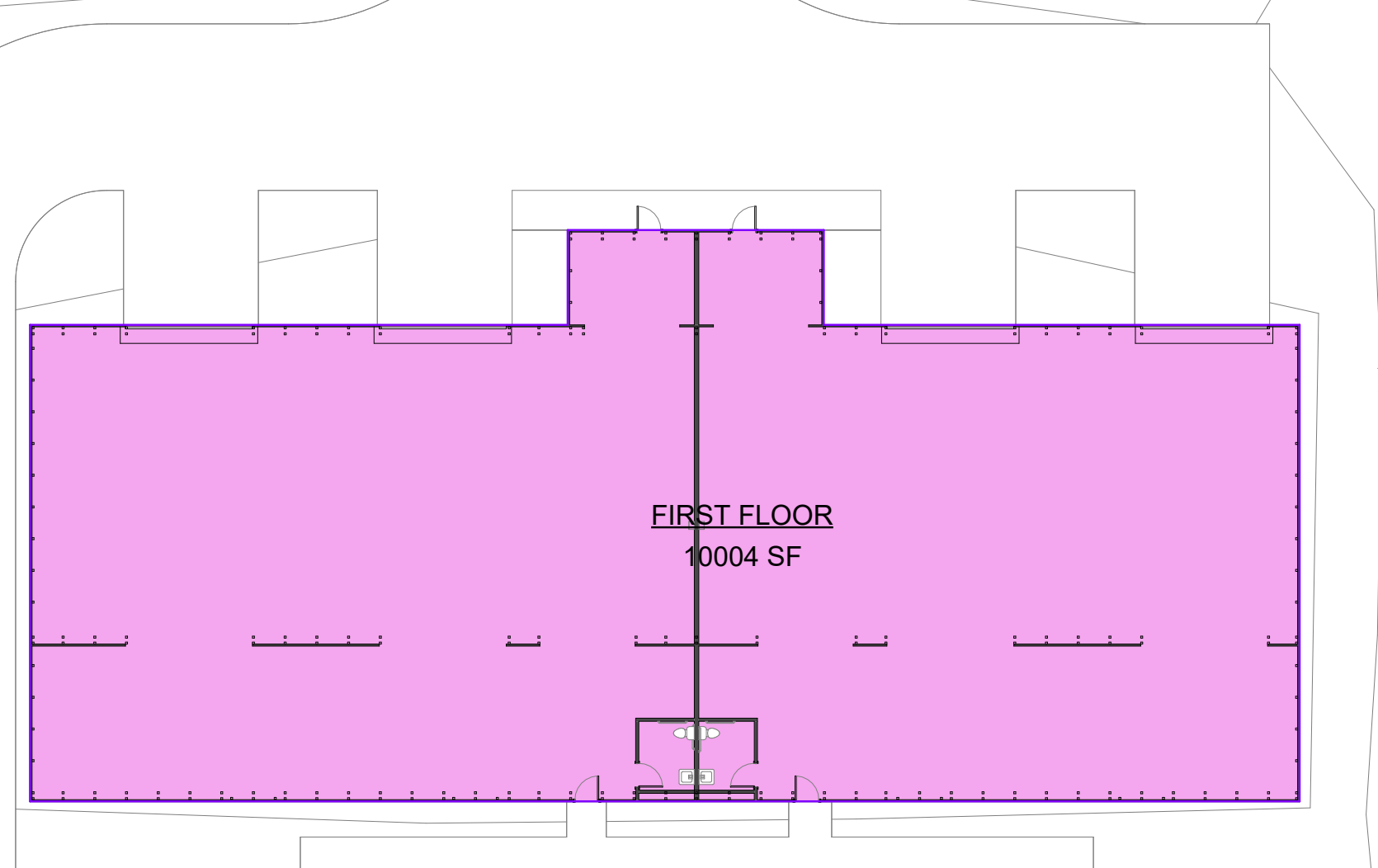
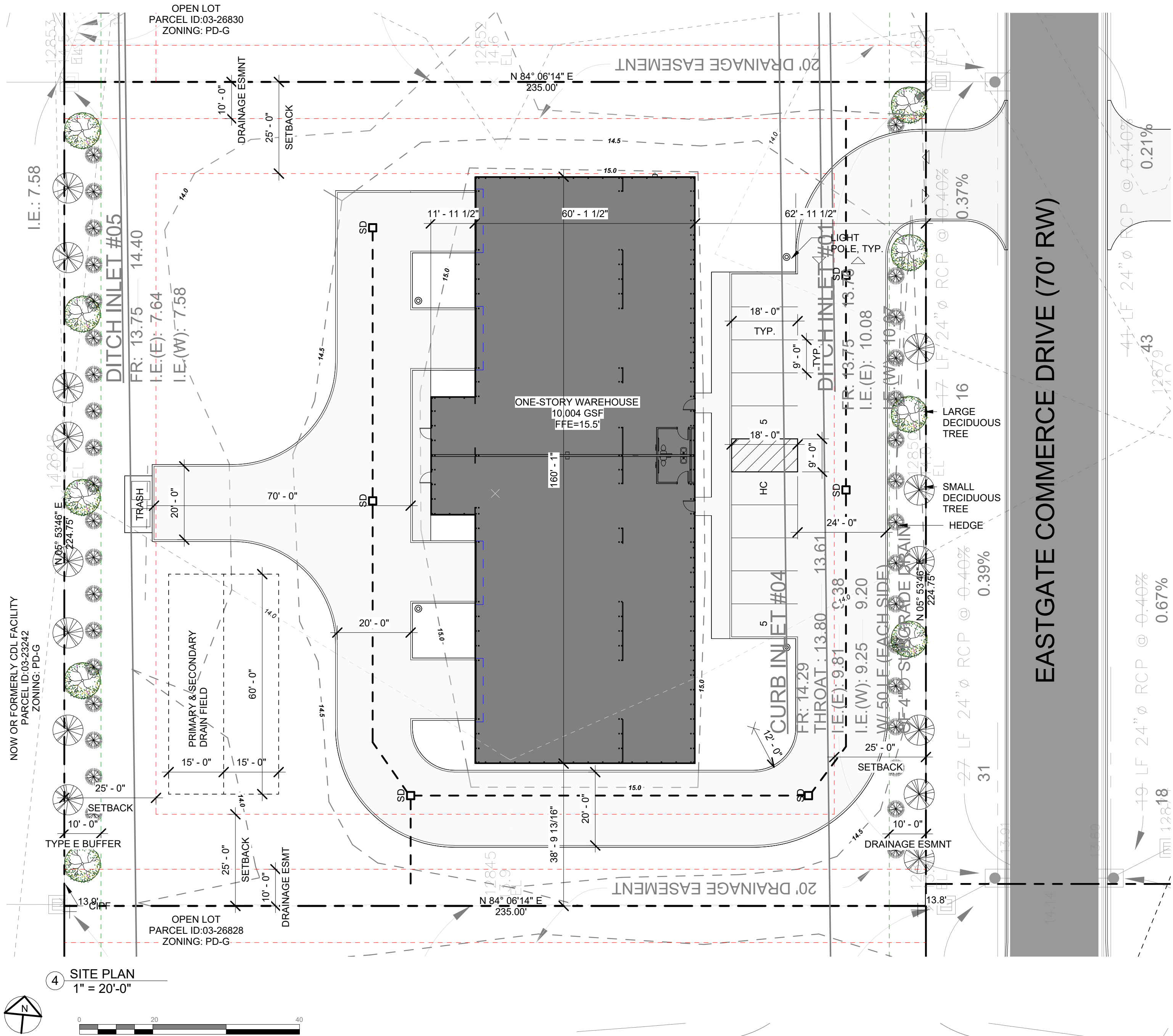
14.

SQUARE FOOTAGE:  
1ST FLOOR = 10,004 SF

15.

FLOOD LINES SHOWN WERE SCALED FROM FLOOD MAPS AND ARE APPROXIMATE. FLOOD LINES ARE BASED ON NAVD88.

SITE PLAN LEGEND	
	PROPERTY LINE
	EXISTING CONTOUR
	NEW CONTOUR
	SETBACK/EASEMENT
	DRAINAGE LINE
	BUFFER
	LARGE DECIDUOUS TREE
	SMALL DECIDUOUS TREE
	HEDGE
	LIGHT POLE
	IRON PIPE FOUND



Area Schedule	
Name	Area
FIRST FLOOR	10004 SF
GRAND TOTAL	10004 SF

ZLF

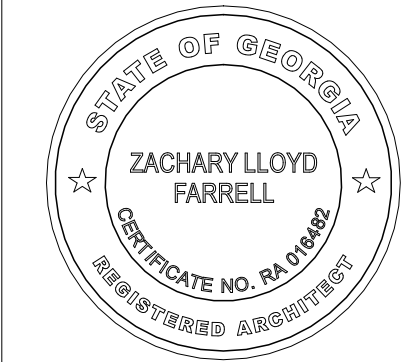
ZLF Design Company, LLC

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EASTGATE  
WAREHOUSE  
- LOT 2

15 EASTGATE DR  
BRUNSWICK, GA  
31525



No.	Issue	Date

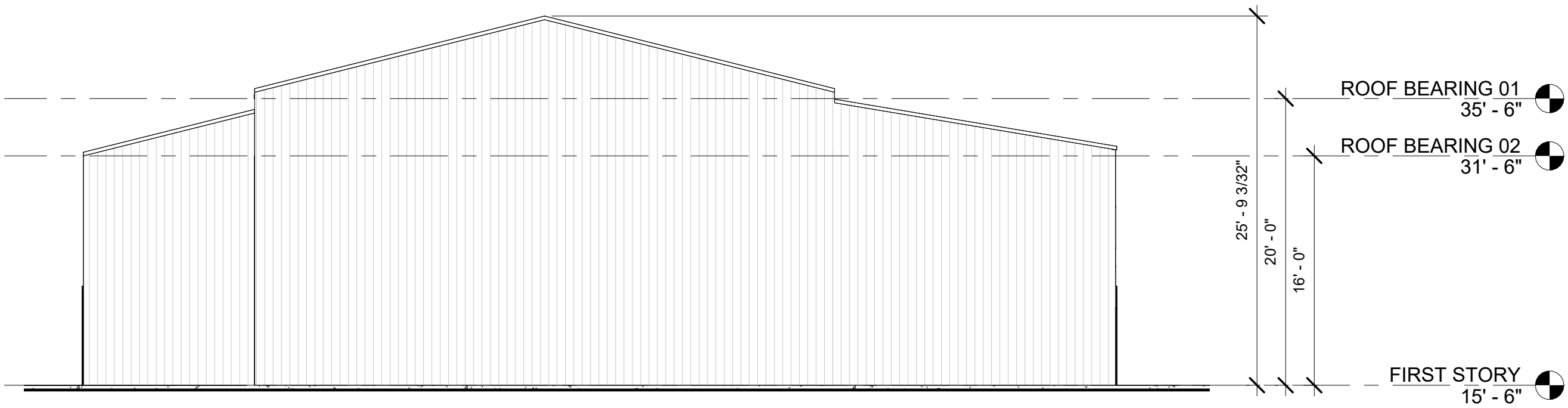
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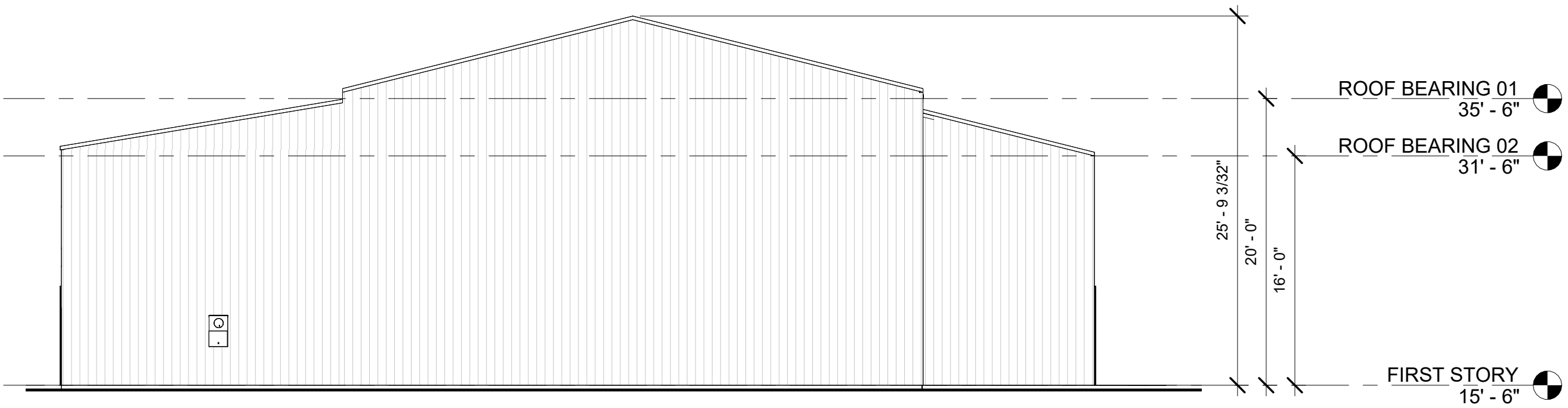
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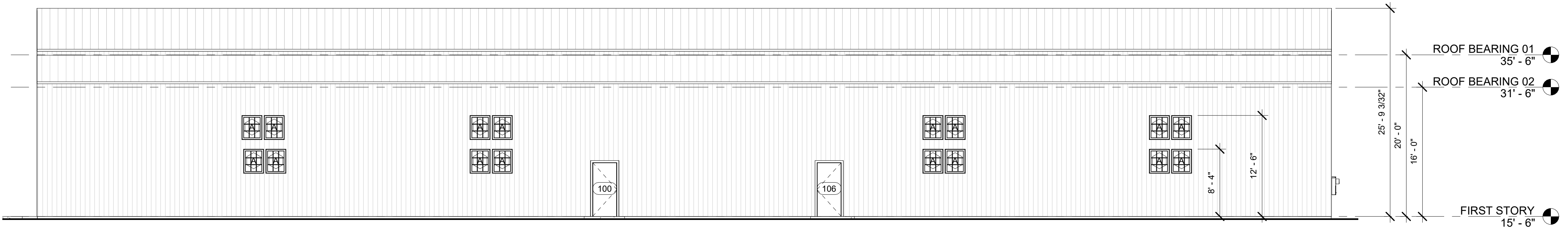




④ LEFT ELEVATION  
1/8" = 1'-0"



② RIGHT ELEVATION  
1/8" = 1'-0"



① FRONT ELEVATION  
1/8" = 1'-0"



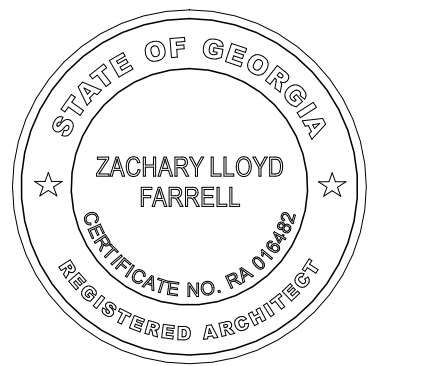
③ REAR ELEVATION  
1/8" = 1'-0"

ZLF

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## EASTGATE WAREHOUSE - LOT 2

15 EASTGATE DR  
BRUNSWICK, GA  
31525



05/19/25 SITE PLAN REVIEW

No.	Issue	Date

## ELEVATIONS

Project Number 2510  
Date 05/06/25












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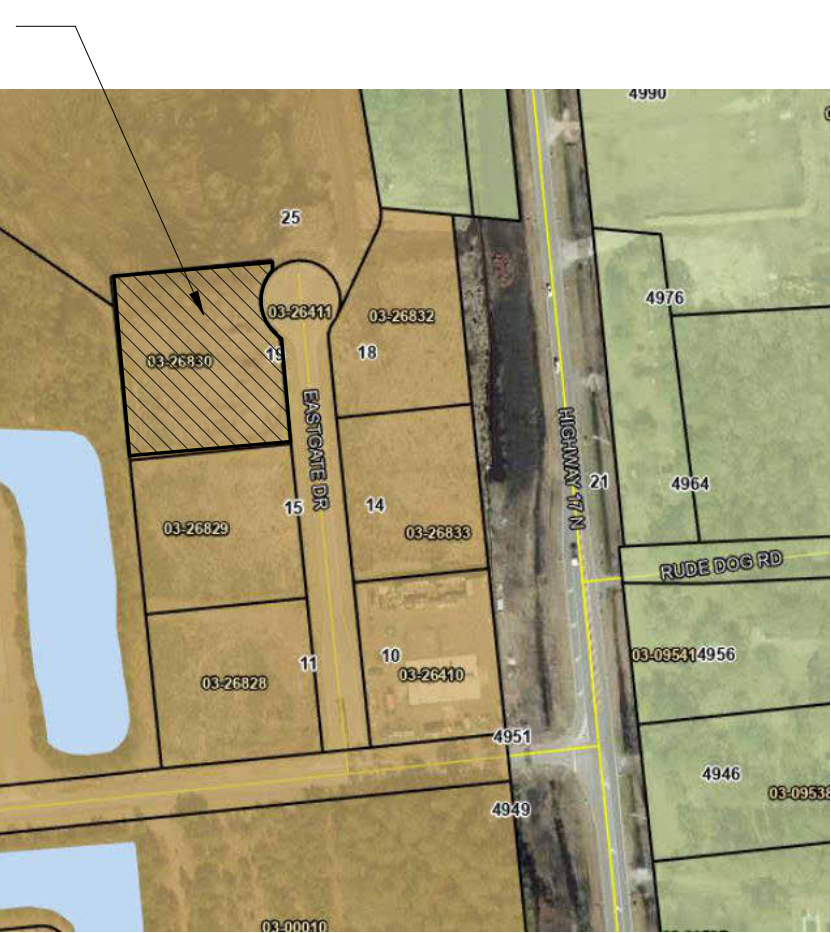


05/19/25 SITE PLAN REVIEW

19 EASTGATE DR, BRUNSWICK, GA 31525

GENERAL NOTES		SITE PLAN LEGEND	
1.	ALL DIMENSIONS TO FACE OF STUD/STRUCTURE FOR INTERIOR AND EXTERIOR WALL PARTITIONS UNLESS OTHERWISE NOTED.		PROPERTY LINE
2.	THE CONTRACTOR IS NOT TO SCALE DRAWINGS OR DETAILS. ONLY WRITTEN DIMENSIONS ARE TO BE USED.		EXISTING CONTOUR
3.	CONDUITS IN FIRE-RELATED PARTITIONS SHALL NOT EXCEED 3/4 INCH DIAMETER. OUTLETS IN RATED PARTITIONS SHALL BE BACKED UP WITH APPROVED MATERIALS MEETING U.L. REQUIREMENTS.		NEW CONTOUR
4.	CONCEALED SPACES SHALL BE FIRE STOPPED.		SETBACK/EASEMENT
5.	ACCESSIBLE ROUTES SHALL COMPLY WITH 2010 ADA STD CHAPTER 4.		DRAINAGE LINE
6.	PROTRUDING OBJECTS IN CIRCULATION PATHS ARE TO COMPLY WITH ANSI 2009 SECTION 7.		BUFFER
7.	FLOOR AND GROUND SURFACES (INCLUDING FLOOR MATERIAL TRANSITIONS) IN COMMON USE AREAS SHALL BE STABLE, FIRM AND SLIP-RESISTANT AND SHALL COMPLY WITH ANSI 2009 SECTION 302.		LARGE DECIDUOUS TREE
8.	CHANGES IN LEVEL (INCLUDING FLOOR MATERIAL TRANSITIONS) IN COMMON USE AREAS SHALL COMPLY WITH ANSI 2009 SECTION 303.		SMALL DECIDUOUS TREE
9.	PROVIDE DOOR CLOSER AND EGRESS PANIC HARDWARE FOR ALL EGRESS DOORS.		HEDGE
10.	ALL PORTABLE FIRE EXTINGUISHERS SHALL COMPLY WITH THE LOCAL FIRE DEPARTMENT AND THE NFPA 10 STANDARD FOR PORTABLE FIRE EXTINGUISHERS		LIGHT POLE
11.	PROVIDE CLASS A MULTIPURPOSE DRY-CHEMICAL TYPE IN STEEL CONTAINER: UL-RATED 4-A-50-BC, 10-LB NOMINAL CAPACITY.		IRON PIPE FOUND
12.	HANDRAILS SHALL HAVE A CROSS SECTION OF 1-1/2".		
13.	CLEARANCE BETWEEN HANDRAIL AND WALL OR ATTACHMENT SURFACE SHALL NOT BE LESS THAN 1-1/2".		
14.	ALL DOOR HARDWARE TO BE FROM THE SAME MANUFACTURER.		
15.	DESIGN OF MONOLITHIC SLAB AND PREFABRICATED METAL STRUCTURED SHALL BE DESIGNATED DESIGN THROUGH THE GENERAL CONTRACTOR.		
<b>SITE PLAN NOTES</b>			

SITE PLAN LEGEND	
	PROPERTY LINE
	EXISTING CONTOUR
	NEW CONTOUR
	SETBACK/EASEMENT
	DRAINAGE LINE
	BUFFER
	LARGE DECIDUOUS TREE
	SMALL DECIDUOUS TREE
	HEDGE
	LIGHT POLE
	IRON PIPE FOUND

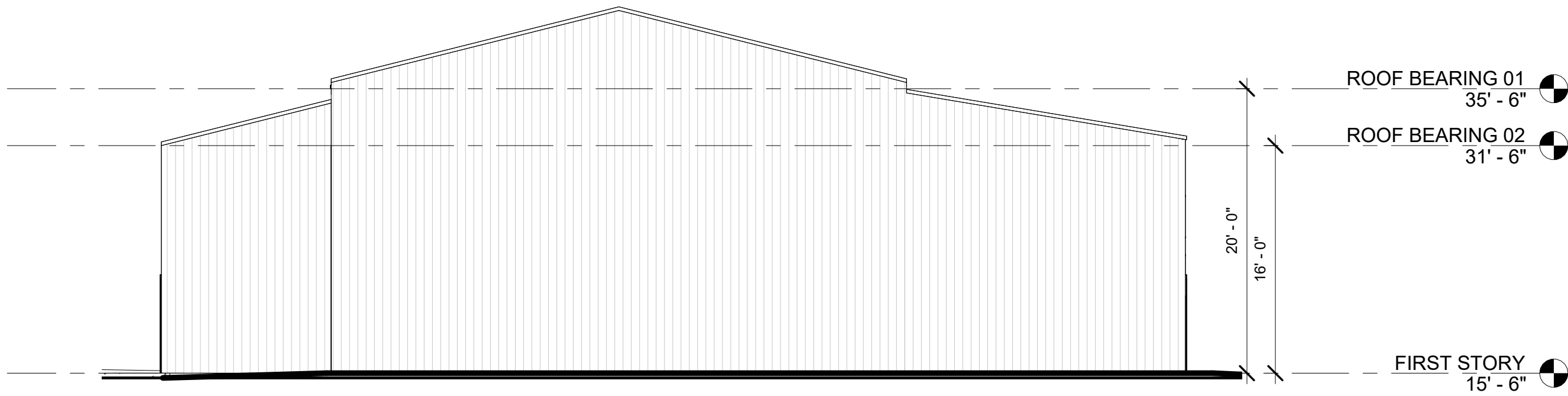


Architectural drawing of the First Floor. The floor is a large rectangle with a central vertical corridor. A small entrance is located at the top center. The floor is labeled "FIRST FLOOR" and "9089 SF".

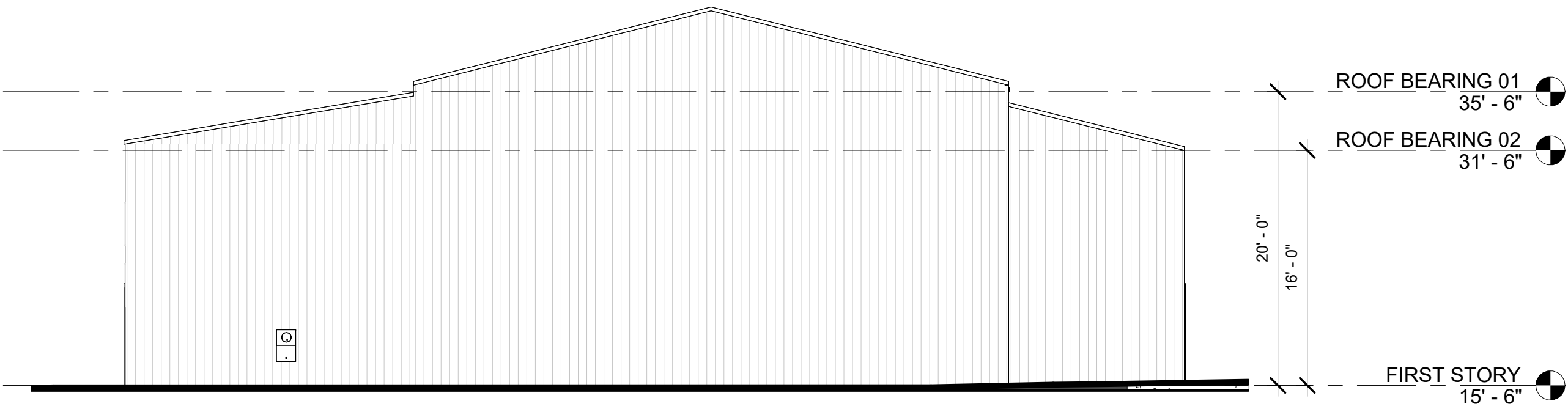
2 AREA PLAN-FIRST FLOOR  
1" = 20'-0"

A000

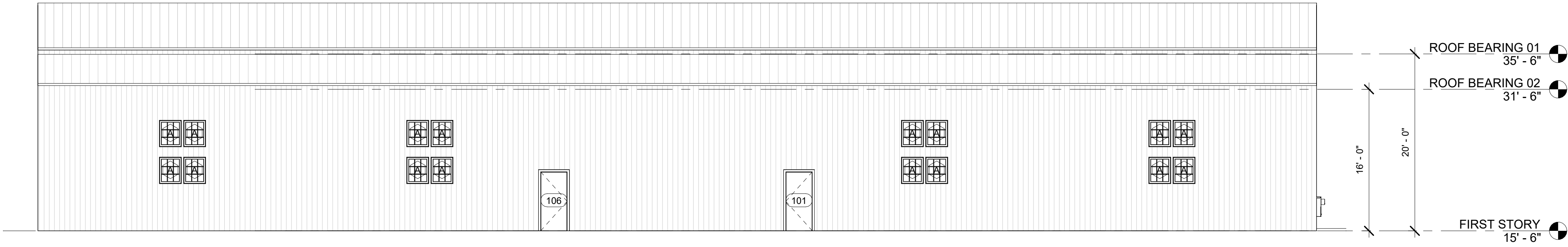




③ LEFT ELEVATION  
1/8" = 1'-0"



① RIGHT ELEVATION  
1/8" = 1'-0"



④ FRONT ELEVATION  
1/8" = 1'-0"



② REAR ELEVATION  
1/8" = 1'-0"

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214.803.1803 | www.zlf-arch.com

## EASTGATE WAREHOUSE - LOT 3

19 EASTGATE DR  
BRUNSWICK, GA  
31525



05/19/25 SITE PLAN REVIEW

No.	Issue	Date

## ELEVATIONS

Project Number 2510  
Date 05/06/25

A200



EASTGATE  
WAREHOUSE - LOT 5

05/19/25 SITE PLAN REVIEW

14 EASTGATE DR, BRUNSWICK, GA 31525

DESIGN TEAM	SITE INFORMATION			
ARCHITECTURAL Zachary L Farrell, AIA ZLF Design Company ZLFdesigncompany@gmail.com 214.803.1803	PARCEL ID: ADDRESS: ZONING: LOT AREA: SEWER: FEMA FLOOD ZONE:	03-26833 14 EASTGATE DR BRUNSWICK, GA 31525 PDG 47,480 SF (1.09 AC) PUBLIC SEWER X	BUILDING PARKING/DRIVE TOTAL COVERAGE  EMPLOYEES PARKING REQ. PARKING PROV.	10,004 GSF 18,485 SF 28,489SF (.654 AC)(60.0%)  20 EMPLOYEES 1 SPACE/2 EMPLOYEES 10 SPACES

- GENERAL NOTES

1. ALL DIMENSIONS TO FACE OF STUD/STRUCTURE FOR INTERIOR AND EXTERIOR WALL PARTITIONS UNLESS OTHERWISE NOTED.

2. THE CONTRACTOR IS NOT TO SCALE DRAWINGS OR DETAILS. ONLY WRITTEN DIMENSIONS ARE TO BE USED.

3. CONDUITS IN FIRE-RELATED PARTITIONS SHALL NOT EXCEED 3/4 INCH DIAMETER. OUTLETS IN RATED PARTITIONS SHALL BE BACKED UP WITH APPROVED MATERIALS MEETING U.L. REQUIREMENTS.

4. CONCEALED SPACES SHALL BE FIRE STOPPED.

5. ACCESSIBLE ROUTES SHALL COMPLY WITH 2010 ADA STD CHAPTER 4.

6. PROTRUDING OBJECTS IN CIRCULATION PATHS ARE TO COMPLY WITH ANSI 2009 SECTION 7.

7. FLOOR AND GROUND SURFACES (INCLUDING FLOOR MATERIAL TRANSITIONS) IN COMMON USE AREAS SHALL BE STABLE, FIRM AND SLIP-RESITANT AND SHALL COMPLY WITH ANSI 2009 SECTION 302.

8. CHANGES IN LEVEL (INCLUDING FLOOR MATERIAL TRANSITIONS) IN COMMON USE AREAS SHALL COMPLY WITH ANSI 2009 SECTION 303.

9. PROVIDE DOOR CLOSER AND EGRESS PANIC HARDWARE FOR ALL EGRESS DOORS.

10. ALL PORTABLE FIRE EXTINGUISHERS SHALL COMPLY WITH THE LOCAL FIRE DEPARTMENT AND THE NFPA 10 STANDARD FOR PORTABLE FIRE EXTINGUISHERS.

11. PROVIDE CLASS A MULTIPURPOSE DRY-CHEMICAL TYPE IN STEEL CONTAINER: UL-RATED 4-A-60-B-C, 10-LB NOMINAL CAPACITY.

12. HANDRAILS SHALL HAVE A CROSS SECTION OF 1-1/2".

13. CLEARANCE BETWEEN HANDRAIL AND WALL OR ATTACHMENT SURFACE SHALL NOT BE LESS THAN 1-1/2".

14. ALL DOOR HARDWARE TO BE FROM THE SAME MANUFACTURER.

15. DESIGN OF MONOLITHIC SLAB AND PREFABRICATED METAL STRUCTURED SHALL BE DESIGNATED DESIGN THROUGH THE GENERAL CONTRACTOR.
- SITE PLAN NOTES

1. INTENDED USE:  
THE PROPOSED PROJECT IS THE CONSTRUCTION OF A 1-STORY 10,004 SF WAREHOUSE BUILDING

2.OWNER:  
BRUNSWICK AND GLYNN COUNTY DEVELOPMENT AUTHORITY  
4 GLYNN AVENUE  
BRUNSWICK, GA 31520  
(912) 265-6629

DEVELOPER:  
BLACK INK DEVELOPMENT  
CALVIN COLLINS  
CALVIN@BLACKINKBUILD.COM

3. PARKING REQUIREMENTS:  
WAREHOUSE:  
1 SPACE PER 2 EMPLOYEES  
20 EMPLOYEES  
WAREHOUSE PARKING = 10 SPACES

4. SITE COVERAGE:  
TOTAL AREA: 1.09AC  
TOTAL IMPERVIOUS 0.654 AC (60.0%)

5. SITE DESCRIPTION:  
LEGAL DESCRIPTION - LOT 5 EASTGATE COMMERCE PARK PHS 1  
PROPERTY ADDRESS - 15 EASTGATE DR BRUNSWICK GA 31525

6. DEVELOPMENT STANDARDS FOR GOLDEN ISLES GATEWAY:  
ZONING: PD-G DECEMBER 1999  
ZONING APP: GC-34-99  
DISTRICT: ODI (OFFICE/DISTRIBUTION/INDUSTRIAL)  
MINIMUM SIZE LOT: 1ac  
MAXIMUM BUILDING HEIGHT: 45 FT  
MINIMUM LOT WIDTH: 60 FT  
SETBACKS:  
MIN FRONT YARD: 25 FT  
MIN SIDE YARD: 25 FT  
MIN REAR YARD: 25 FT

7. PROPOSED UTILITIES:  
WATER: THE PROPOSED WATER WILL TIE INTO THE EXISTING WATER LOCATED IN THE RIGHT OF WAY OF EASTGATE DRIVE  
SEWER: THE PROPOSED GRAVITY SEWER WILL BE ROUTED TO A PROPOSED SEPTIC SYSTEM

STORMWATER:

8. ACCORDING TO F.I.R.M. MAP NO. 13127C, PANELS 115F AND 120F, REVISED SEPTEMBER 6, 2006, A PORTION OF THE PROPERTY SHOWN FALLS WITHIN FLOOD ZONE AE

9. EXTERIOR LIGHTING WILL COMPLY WITH 622 OF THE GLYNN COUNTY ZONING ORDINANCE

10. FIRE DEPARTMENT CONNECTION WILL BE PROVIDED.

11. THIS SITE WILL COMPLY WITH BUFFER REQUIREMENTS - TYPE "E" BUFFER ALONG THE EAST AND WEST SIDES OF THE PROPERTY.

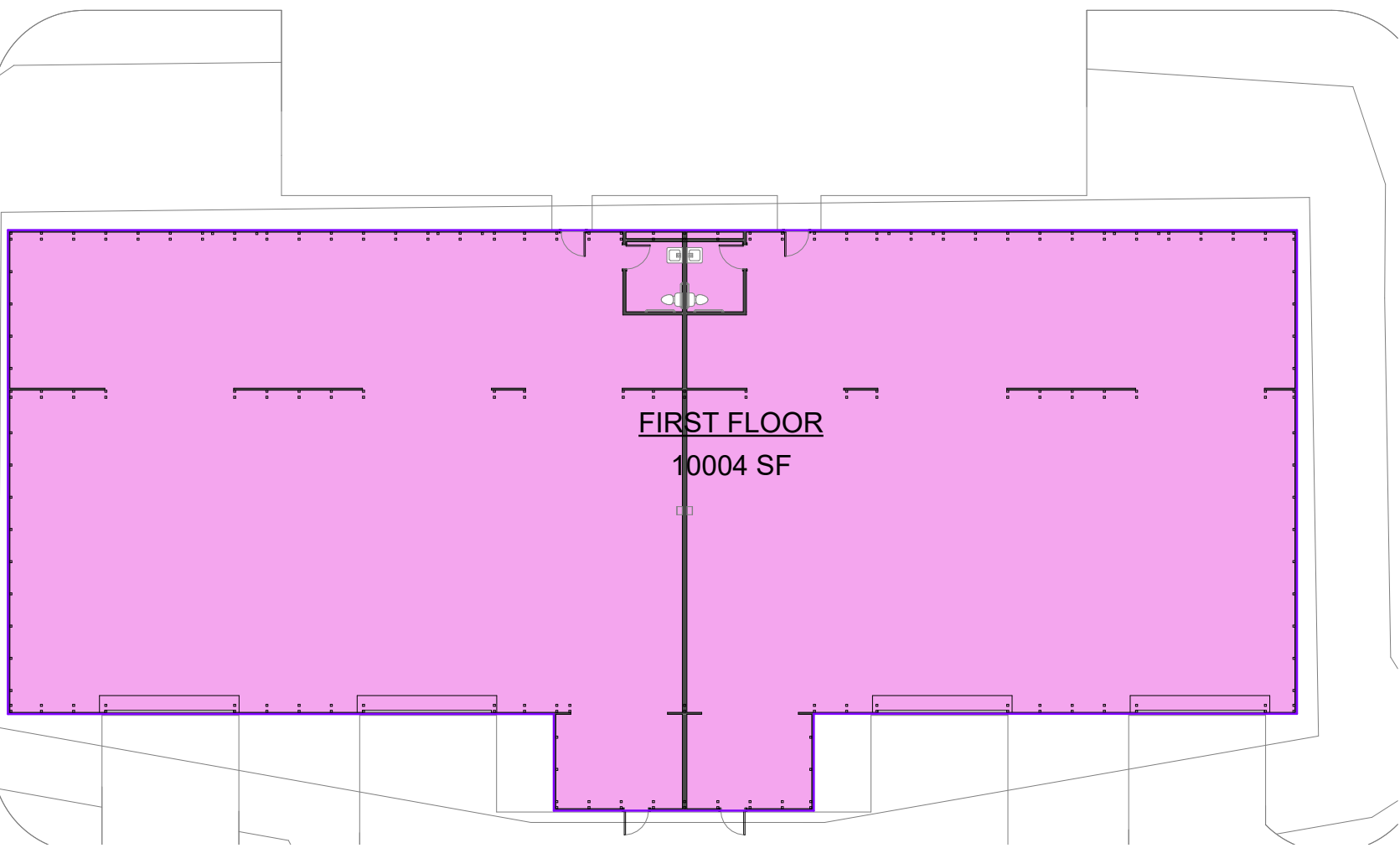
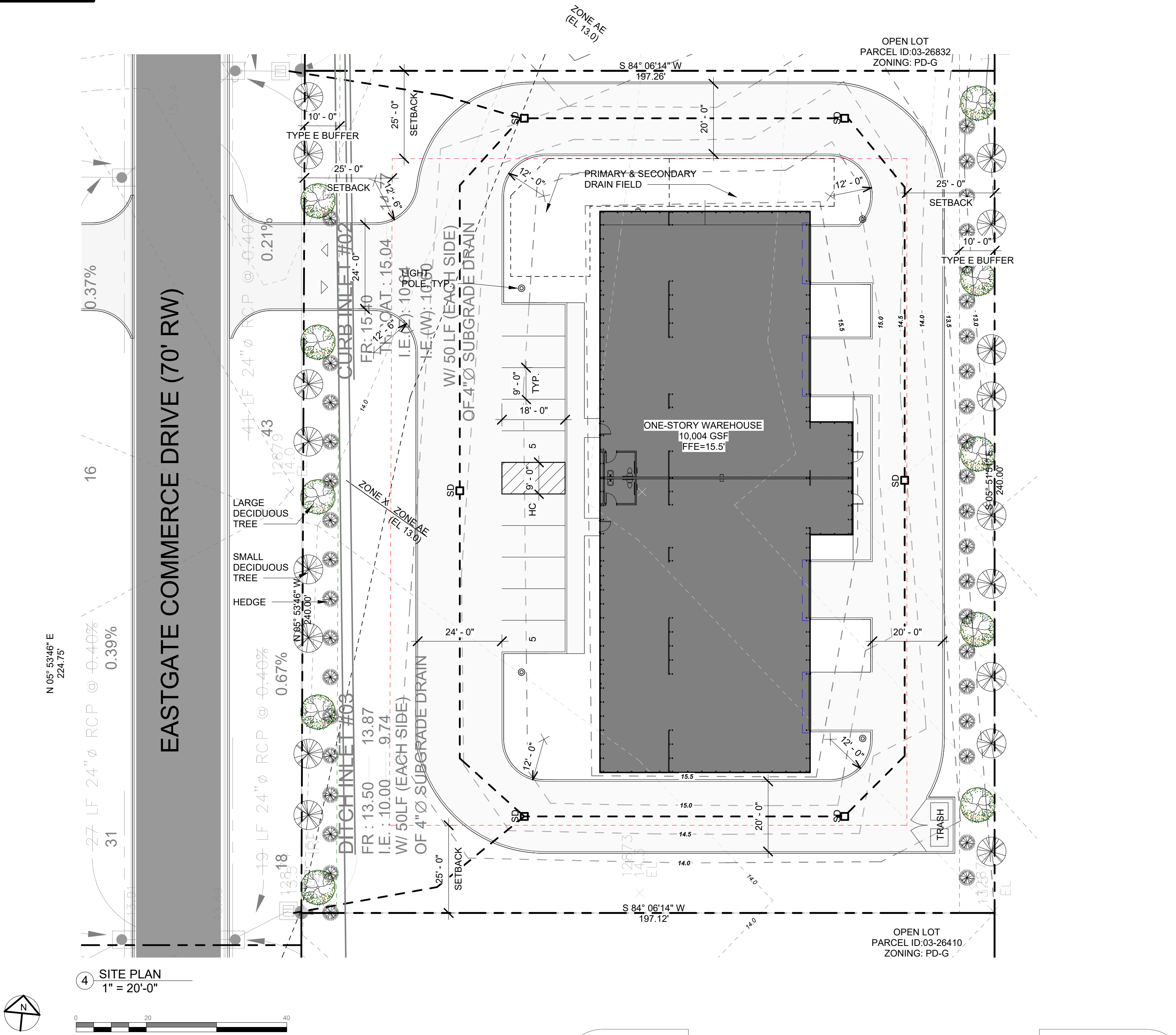
12. SIGNAGE FOR THIS SITE WILL BE COMPLIANT WITH 811.7 OF THE GLYNN COUNTY ZONING ORDINANCE.

13. (3) RIGHT OF WAY TYPE "E" BUFFER:  
LARGE DECIDUOUS TREES = 14  
SMALL DECIDUOUS TREES = 23

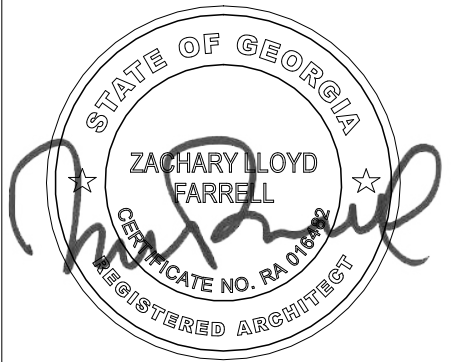
14. SQUARE FOOTAGE:  
1ST FOOR = 10,004 SF

15. FLOOD LINES SHOWN WERE SCALED FROM FLOOD MAPS AND ARE APPROXIMATE. FLOOD LINES ARE BASED ON NAVD88.

SITE PLAN LEGEND	
	PROPERTY LINE
	EXISTING CONTOUR
	NEW CONTOUR
	SETBACK/EASEMENT
	DRAINAGE LINE
	BUFFER
	LARGE DECIDUOUS TREE
	SMALL DECIDUOUS TREE
	HEDGE
	LIGHT POLE
	IRON PIPE FOUND



Area Schedule	
Name	Area
FIRST FLOOR	10004 SF
GRAND TOTAL	10004 SF



No.	Issue	Date

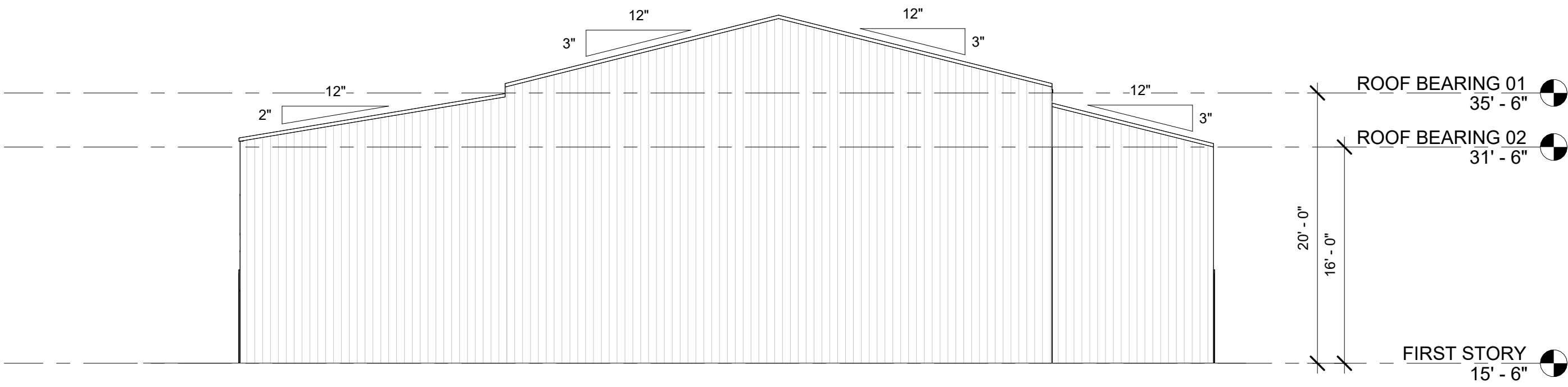
COVER SHEET,  
INDEX, GENERAL  
NOTES AND SITE  
PLAN

Project Number2510

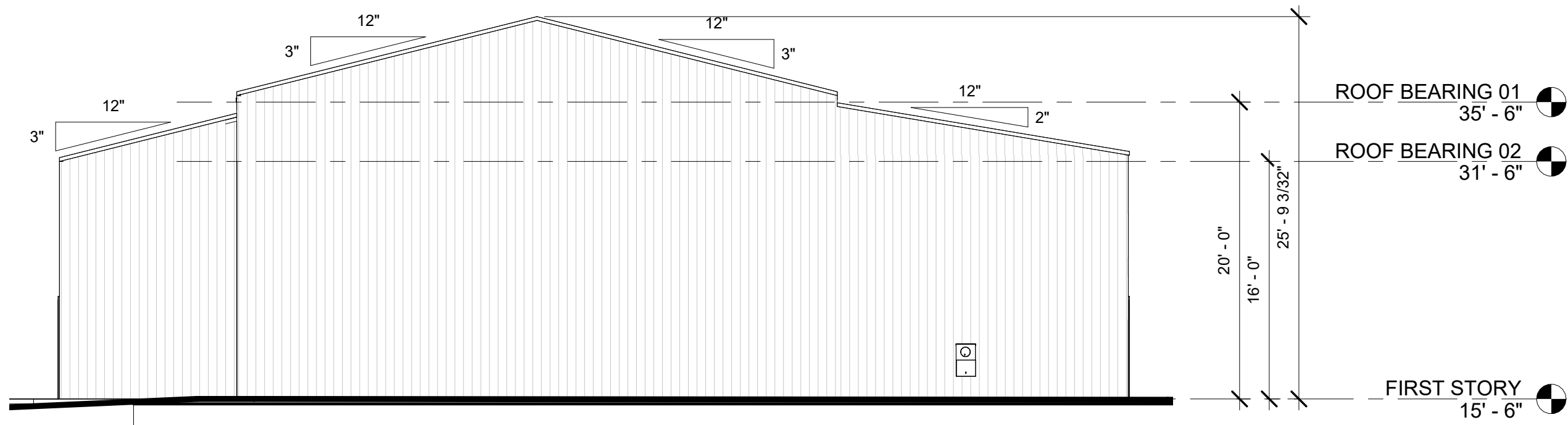
Date05/06/25

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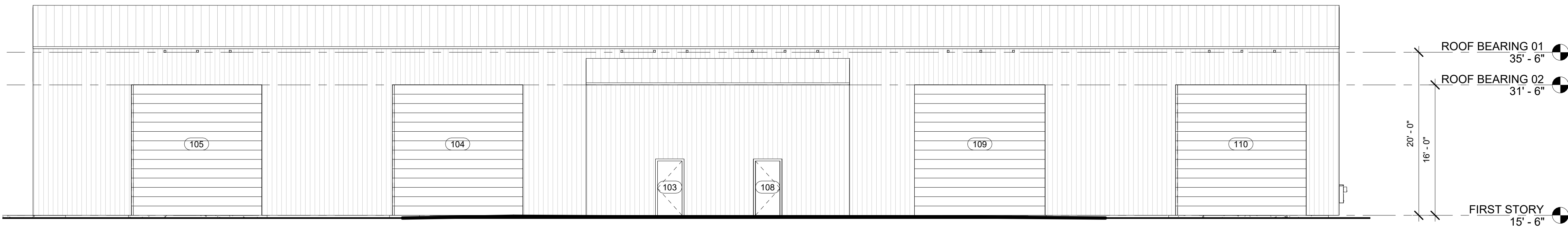




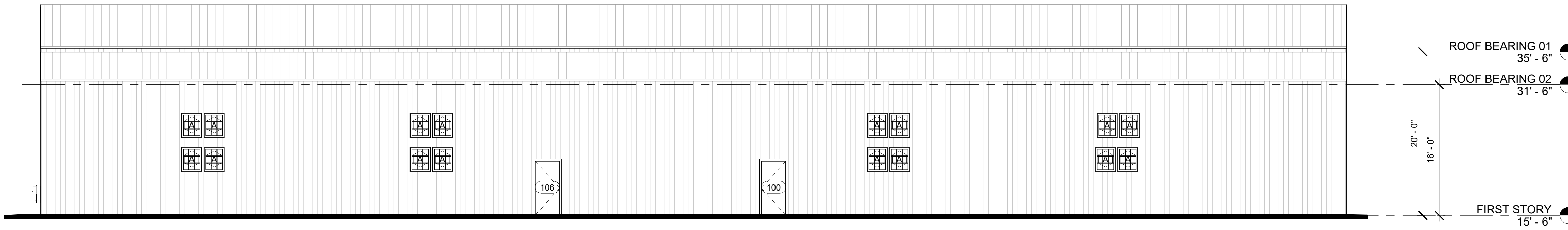
④ LEFT ELEVATION  
1/8" = 1'-0"



② RIGHT ELEVATION  
1/8" = 1'-0"



① FRONT ELEVATION  
1/8" = 1'-0"



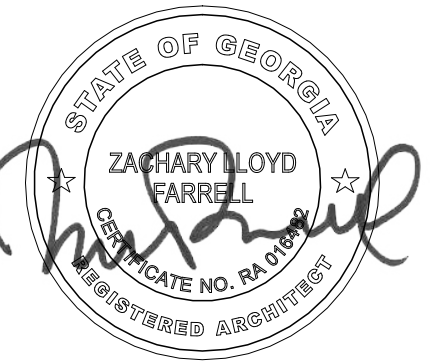
③ REAR ELEVATION  
1/8" = 1'-0"

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## EASTGATE WAREHOUSE - LOT 5

14 EASTGATE DR  
BRUNSWICK, GA  
31525



05/19/25 SITE PLAN REVIEW

No.	Issue	Date

### ELEVATIONS

Project Number 2510  
Date 05/06/25

## A200



# EASTGATE WAREHOUSE - LOT 6

05/19/25 SITE PLAN REVIEW

18 EASTGATE DR, BRUNSWICK, GA 31525

## DESIGN TEAM

ARCHITECTURAL  
Zachary L Farrell, AIA  
ZLF Design Company  
ZLFdesigncompany@gmail.com  
214.803.1803

## SITE INFORMATION

PARCEL ID: 03-26832  
ADDRESS: 18 EASTGATE DR  
BRUNSWICK, GA 31525  
PDG  
ZONING: LOT AREA: 48,352 SF (1.11 AC)  
SEWER: PUBLIC SEWER  
FEMA FLOOD ZONE: X

BUILDING  
PARKING/DRIVE  
TOTAL COVERAGE  
10,004 GSF  
17,114 SF  
27,118 SF (.622 AC)(56.0%)

EMPLOYEES  
PARKING REQ.  
PARKING PROV.  
20 EMPLOYEES  
1 SPACE/2 EMPLOYEES  
10 SPACES

## GENERAL NOTES

- ALL DIMENSIONS TO FACE OF STUD/STRUCTURE FOR INTERIOR AND EXTERIOR WALL PARTITIONS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS NOT TO SCALE DRAWINGS OR DETAILS. ONLY WRITTEN DIMENSIONS ARE TO BE USED.
- CONDUITS IN FIRE-RELATED PARTITIONS SHALL NOT EXCEED 3/4 INCH DIAMETER. OUTLETS IN RATED PARTITIONS SHALL BE BACKED UP WITH APPROVED MATERIALS MEETING U.L. REQUIREMENTS.
- CONCEALED SPACES SHALL BE FIRE STOPPED.
- ACCESSIBLE ROUTES SHALL COMPLY WITH 2010 ADA STD CHAPTER 4.
- PROTRUDING OBJECTS IN CIRCULATION PATHS ARE TO COMPLY WITH ANSI 2009 SECTION 7.
- FLOOR AND GROUND SURFACES (INCLUDING FLOOR MATERIAL TRANSITIONS) IN COMMON USE AREAS SHALL BE STABLE, FIRM AND SLIP-RESISTANT AND SHALL COMPLY WITH ANSI 2009 SECTION 902.
- CHANGES IN LEVEL (INCLUDING FLOOR MATERIAL TRANSITIONS) IN COMMON USE AREAS SHALL COMPLY WITH ANSI 2009 SECTION 303.
- PROVIDE DOOR CLOSER AND EGRESS PANIC HARDWARE FOR ALL EGRESS DOORS.
- ALL PORTABLE FIRE EXTINGUISHERS SHALL COMPLY WITH THE LOCAL FIRE DEPARTMENT AND THE NFPA 10 STANDARD FOR PORTABLE FIRE EXTINGUISHERS.
- PROVIDE CLASS A MULTIPURPOSE DRY-CHEMICAL TYPE IN STEEL CONTAINER: UL-RATED 4-A-60-B-C, 10-LB NOMINAL CAPACITY.
- HANDRAILS SHALL HAVE A CROSS SECTION OF 1-1/2".
- CLEARANCE BETWEEN HANDRAIL AND WALL OR ATTACHMENT SURFACE SHALL NOT BE LESS THAN 1-1/2".
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- DESIGN OF MONOLITHIC SLAB AND PREFABRICATED METAL STRUCTURED SHALL BE DESIGNATED DESIGN THROUGH THE GENERAL CONTRACTOR.

## SITE PLAN NOTES

- INTENDED USE:  
THE PROPOSED PROJECT IS THE CONSTRUCTION OF A 1-STORY 10,004 SF WAREHOUSE BUILDING

2.OWNER:  
BRUNSWICK AND GLYNN COUNTY DEVELOPMENT AUTHORITY  
4 GLYNN AVENUE  
BRUNSWICK, GA 31520  
(912) 265-6629

DEVELOPER:  
BLACK INK DEVELOPMENT  
CALVIN COLLINS  
CALVIN@BLACKINKBUILD.COM

3. PARKING REQUIREMENTS:  
WAREHOUSE:  
1 SPACE PER 2 EMPLOYEES  
20 EMPLOYEES  
WAREHOUSE PARKING = 10 SPACES

4. SITE COVERAGE:  
TOTAL AREA: 1.11AC  
TOTAL IMPERVIOUS: 0.622 AC (56.0%)

5. SITE DESCRIPTION:  
LEGAL DESCRIPTION - LOT 6 EASTGATE COMMERCE PARK PHS 1  
PROPERTY ADDRESS - 18 EASTGATE DR BRUNSWICK GA 31525

6. DEVELOPMENT STANDARDS FOR GOLDEN ISLES GATEWAY:  
ZONING: PD-G DECEMBER 1999  
ZONING APP: GC-34-99  
DISTRICT: ODI (OFFICE/DISTRIBUTION/INDUSTRIAL)  
MINIMUM SIZE LOT: 1ac  
MAXIMUM BUILDING HEIGHT: 45 FT  
MINIMUM LOT WIDTH: 60 FT  
SETBACKS:  
MIN FRONT YARD: 25 FT  
MIN SIDE YARD: 25 FT  
MIN REAR YARD: 25 FT

7. PROPOSED UTILITIES:  
WATER: THE PROPOSED WATER WILL TIE INTO THE EXISTING WATER LOCATED IN THE RIGHT OF WAY OF EASTGATE DRIVE  
SEWER: THE PROPOSED GRAVITY SEWER WILL BE ROUTED TO A PROPOSED SEPTIC SYSTEM

STORMWATER:

8. ACCORDING TO F.I.R.M. MAP NO. 13127C, PANELS 115F AND 120F, REVISED SEPTEMBER 6, 2006, A PORTION OF THE PROPERTY SHOWN FALLS WITHIN FLOOD ZONE AE

9. EXTERIOR LIGHTING WILL COMPLY WITH 622 OF THE GLYNN COUNTY ZONING ORDINANCE

10. FIRE DEPARTMENT CONNECTION WILL BE PROVIDED.

11. THIS SITE WILL COMPLY WITH BUFFER REQUIREMENTS - TYPE "E" BUFFER ALONG THE EAST AND WEST SIDES OF THE PROPERTY.

12. SIGNAGE FOR THIS SITE WILL BE COMPLIANT WITH 811.7 OF THE GLYNN COUNTY ZONING ORDINANCE.

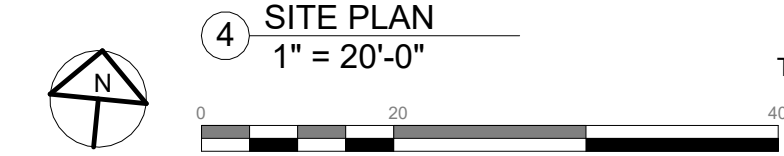
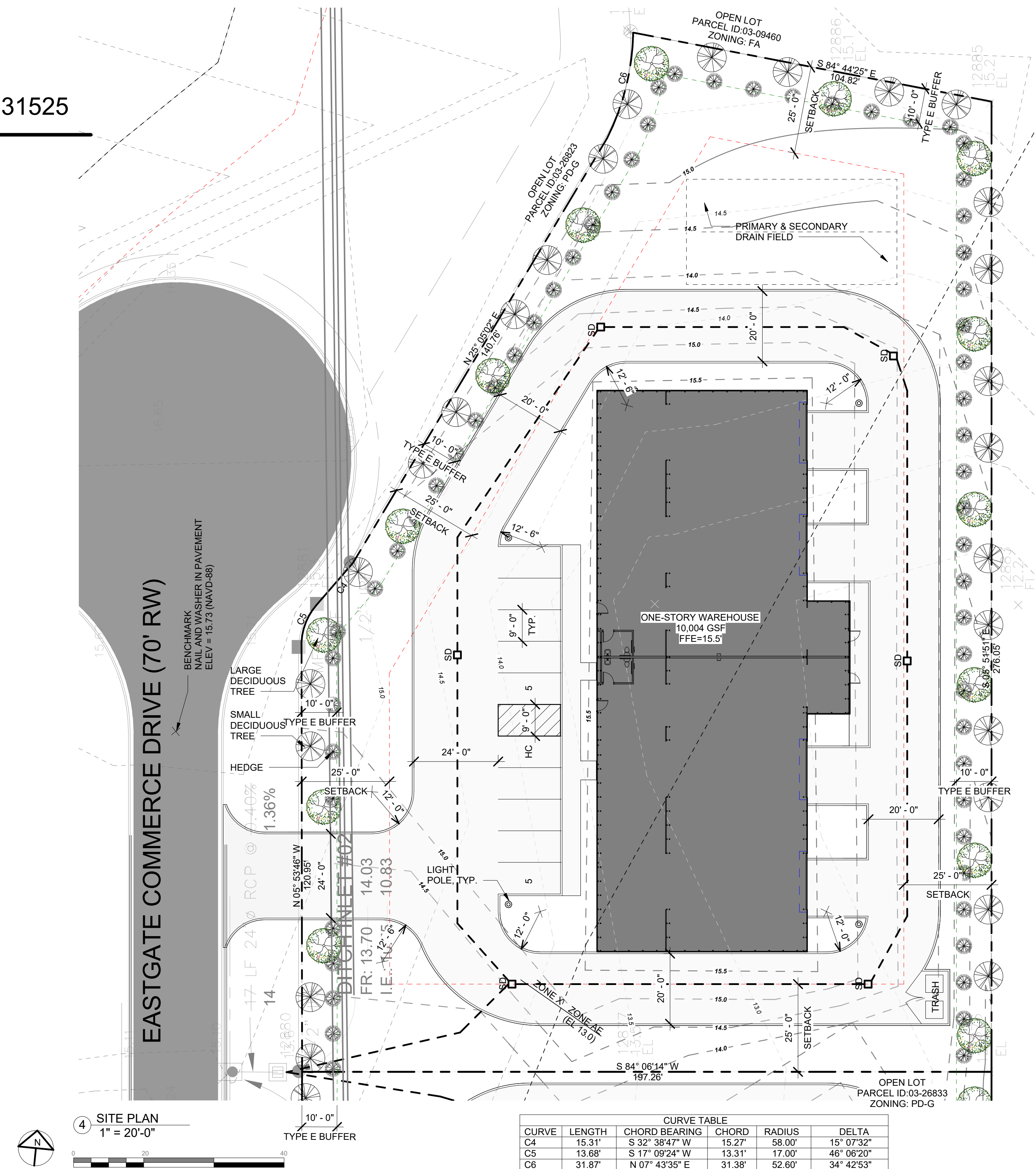
13. (3) RIGHT OF WAY TYPE "E" BUFFER:  
LARGE DECIDUOUS TREES = 14  
SMALL DECIDUOUS TREES = 23

14. SQUARE FOOTAGE:  
1ST FLOOR = 10,004 SF

15. FLOOD LINES SHOWN WERE SCALED FROM FLOOD MAPS AND ARE APPROXIMATE. FLOOD LINES ARE BASED ON NAVD88.

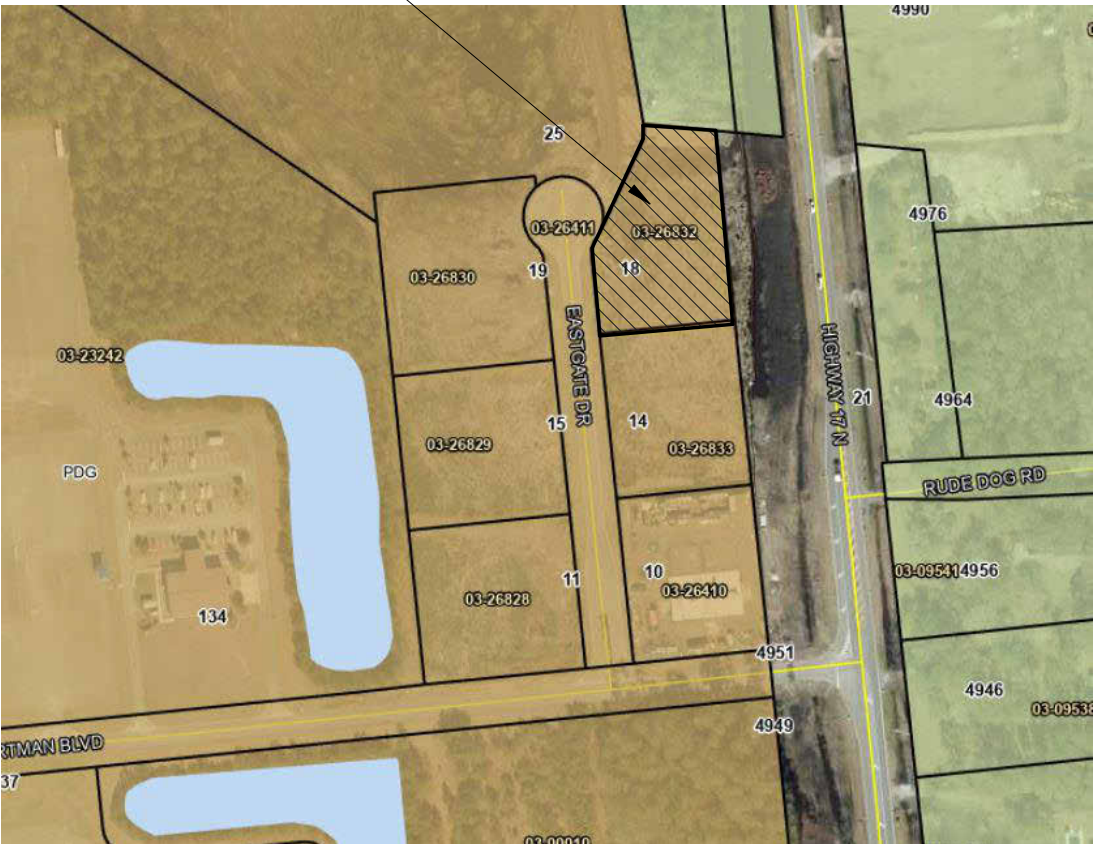
## SITE PLAN LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- NEW CONTOUR
- SETBACK/EASEMENT
- DRAINAGE LINE
- BUFFER
- LARGE DECIDUOUS TREE
- SMALL DECIDUOUS TREE
- HEDGE
- LIGHT POLE
- IRON PIPE FOUND

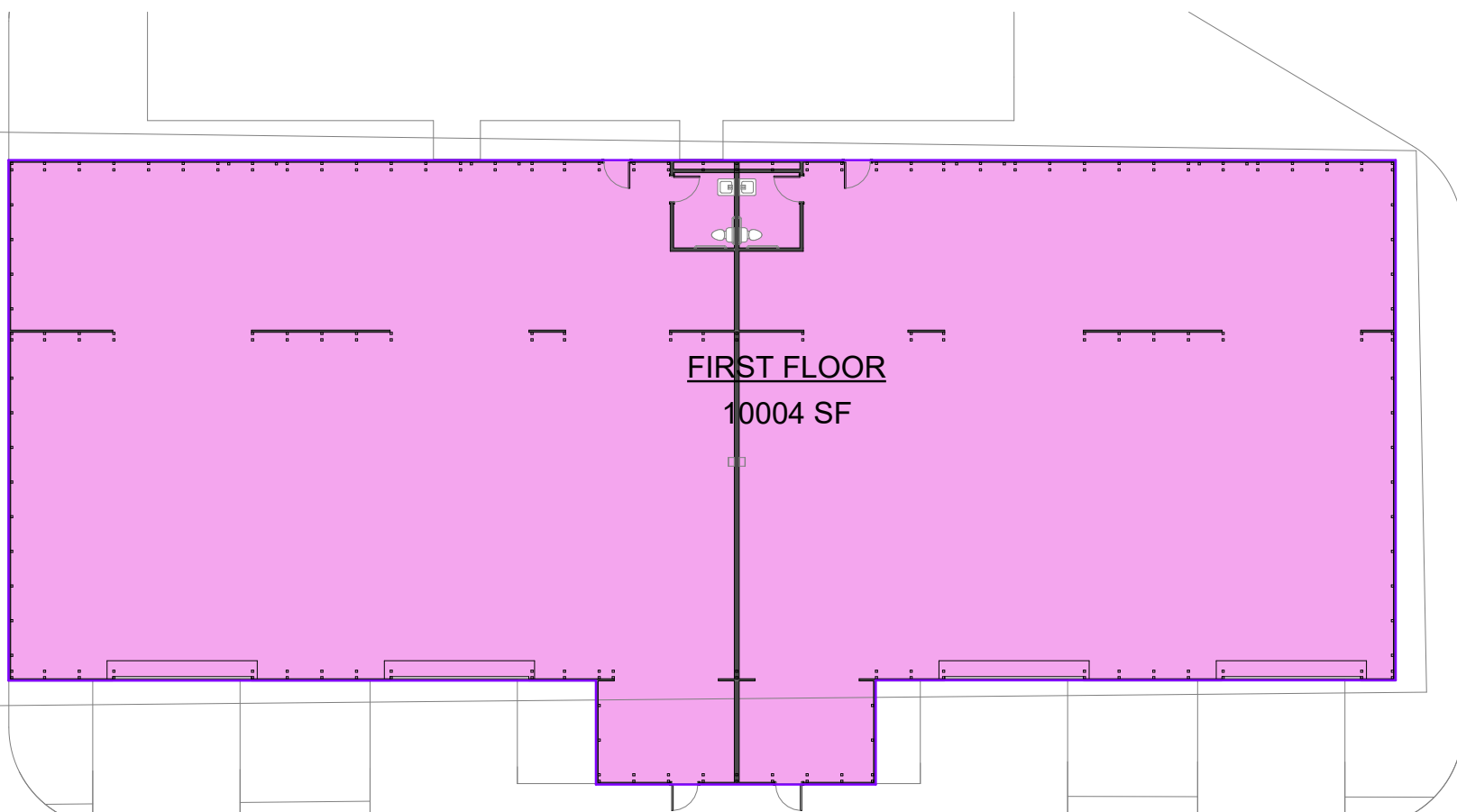


CURVE TABLE					
CURVE	LENGTH	CHORD BEARING	CHORD	RADIUS	DELTA
C4	15.31'	S 32° 38'47" W	15.27'	58.00'	15° 07'32"
C5	13.68'	S 17° 09'24" W	13.31'	17.00'	46° 06'20"
C6	31.87'	N 07° 43'35" E	31.38'	52.60'	34° 42'53"

## SITE LOCATION



1 VICINITY MAP  
1" = 20'-0"



2 AREA PLAN-FIRST FLOOR  
1" = 20'-0"

Area Schedule	
Name	Area

FIRST FLOOR	10004 SF
	10004 SF
GRAND TOTAL	10004 SF

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## EASTGATE WAREHOUSE - LOT 6

18 EASTGATE DR  
BRUNSWICK, GA  
31525



05/19/25 SITE PLAN REVIEW

No.	Issue	Date

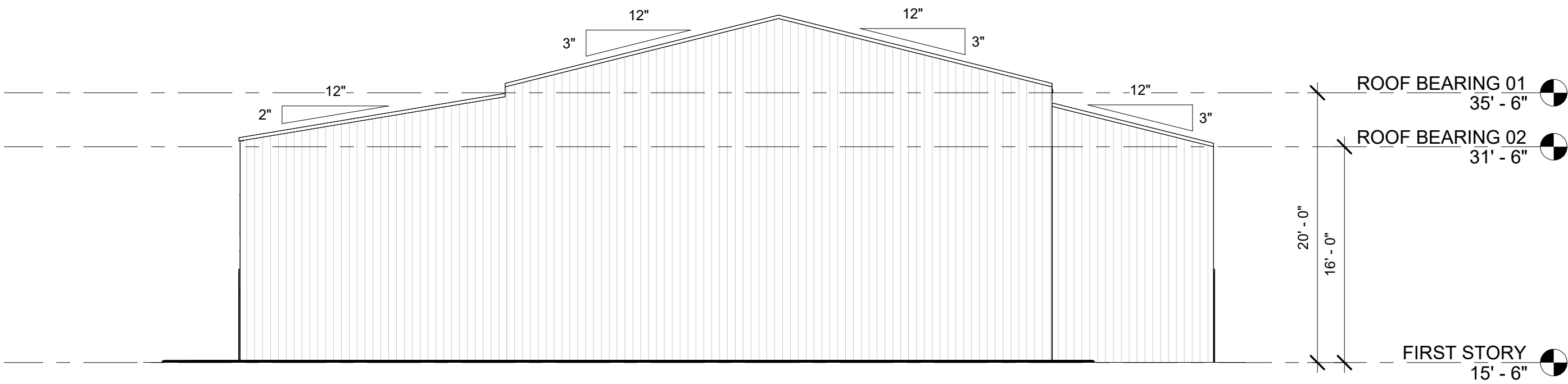
## COVER SHEET, INDEX, GENERAL NOTES AND SITE PLAN

Project Number 2510

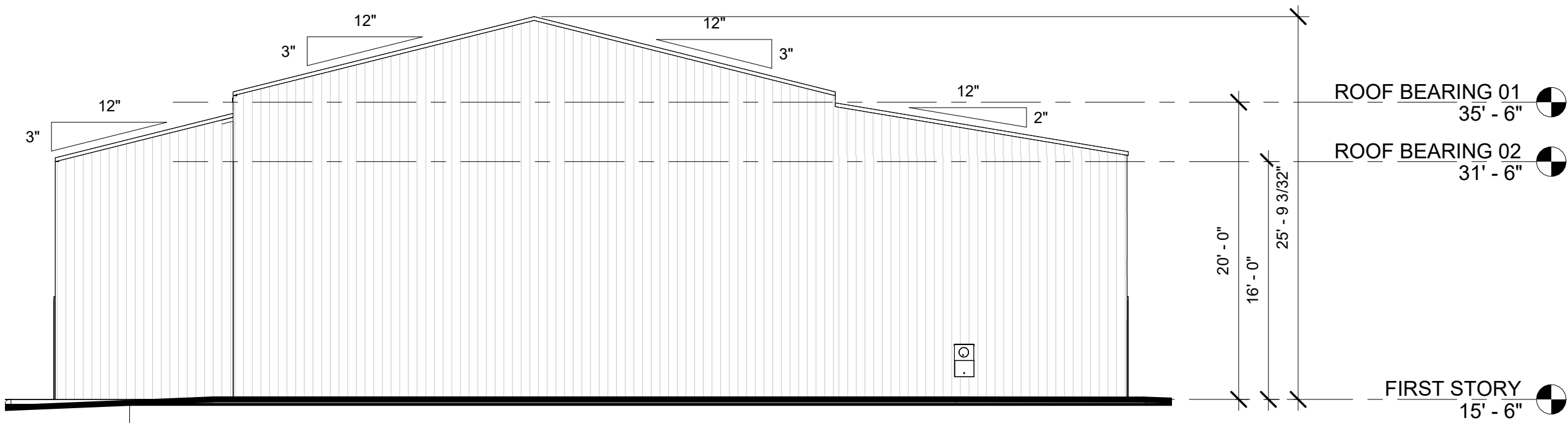
Date 05/06/25

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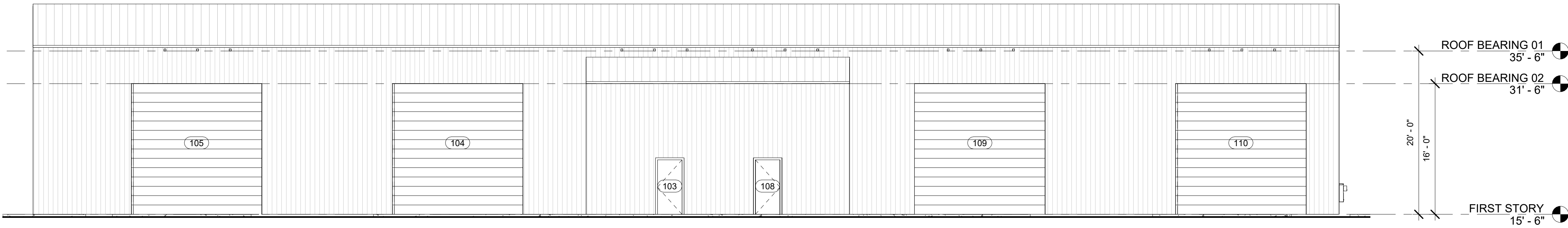




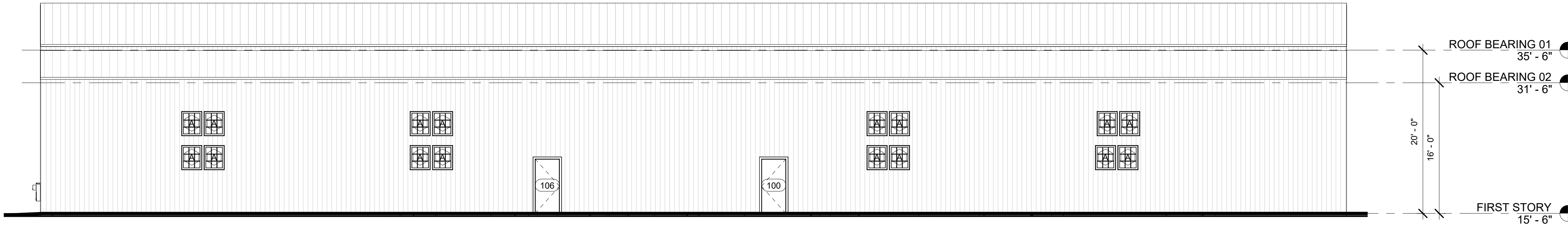
④ LEFT ELEVATION  
1/8" = 1'-0"



② RIGHT ELEVATION  
1/8" = 1'-0"



① FRONT ELEVATION  
1/8" = 1'-0"



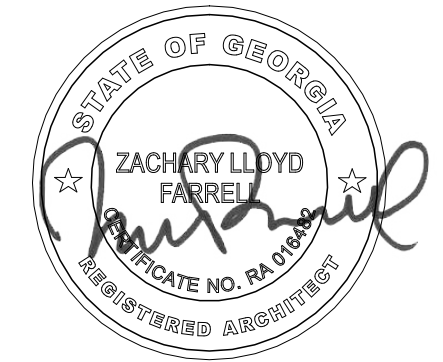
③ REAR ELEVATION  
1/8" = 1'-0"

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EASTGATE  
WAREHOUSE  
- LOT 6

18 EASTGATE DR  
BRUNSWICK, GA  
31525



05/19/25 SITE PLAN REVIEW

No.	Issue	Date

ELEVATIONS

Project Number 2510  
Date 05/06/25

A200